

Fire Risk Assessment

Nelson House



**1-34, Upper Church Lane,
Tipton, DY4 9PW**

Date Completed: 21/11/2023

Review Period: 12 months

Officer: C. Hill Fire Risk Assessor

Checked By: J Blewitt Team Lead Fire Safety & Facilities

Current Risk Rating = Tolerable

Subsequent reviews

| <u>Review date</u> | <u>Officer</u> | <u>Comments</u> |
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Section

0

Introduction

The [Regulatory Reform \(Fire Safety\) Order 2005 \(RR\(FS\)O\)](#) places a legal duty on landlords to complete a fire risk assessment (FRA). Specifically, RR(FS)O article 9. — (1) *“The responsible person must make a suitable and sufficient assessment of the risks to which relevant persons are exposed for the purpose of identifying the general fire precautions he needs to take to comply with the requirements and prohibitions imposed on him by or under this Order”*.

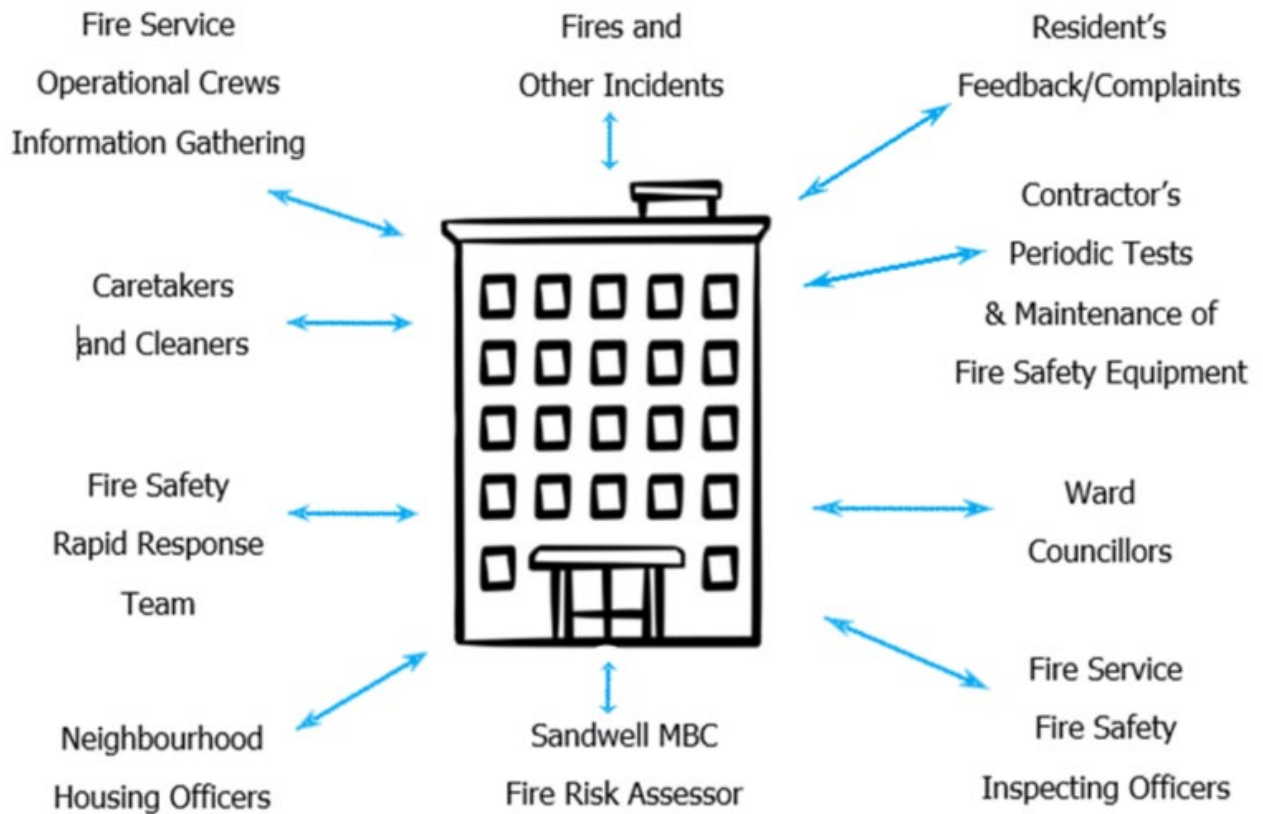
This fire risk assessment has been written to comply fully with the above legislation which is enforced locally by West Midlands Fire Service. If required, complaints can be made to them by telephone on 0121 380 7500 or electronically on <https://www.wmfs.net/our-services/fire-safety/#reportfiresafety>. In the first instance however, we would be grateful if you could contact us directly via [https://www.sandwell.gov.uk/info/200195/contact_the_council/283/feedb ack_and_complaints](https://www.sandwell.gov.uk/info/200195/contact_the_council/283/feedback_and_complaints) or by phone on 0121 569 6000.

The date of the fire risk assessment is on the front page, followed by any subsequent reviews. A recurring time frame is not set in legislation, but the Council will as a minimum review:

- High Risk Residential Buildings annually
- Other Buildings every 3 years

The council has procedures and policies in place that will trigger a review of the fire risk assessment. This then is recorded on the fire risk assessment. If the review suggests the fire risk assessment is not currently suitable and sufficient, then a new fire risk assessment will be undertaken and become the current fire risk assessment. The previous fire risk assessment will be retained in the building safety case for that building.

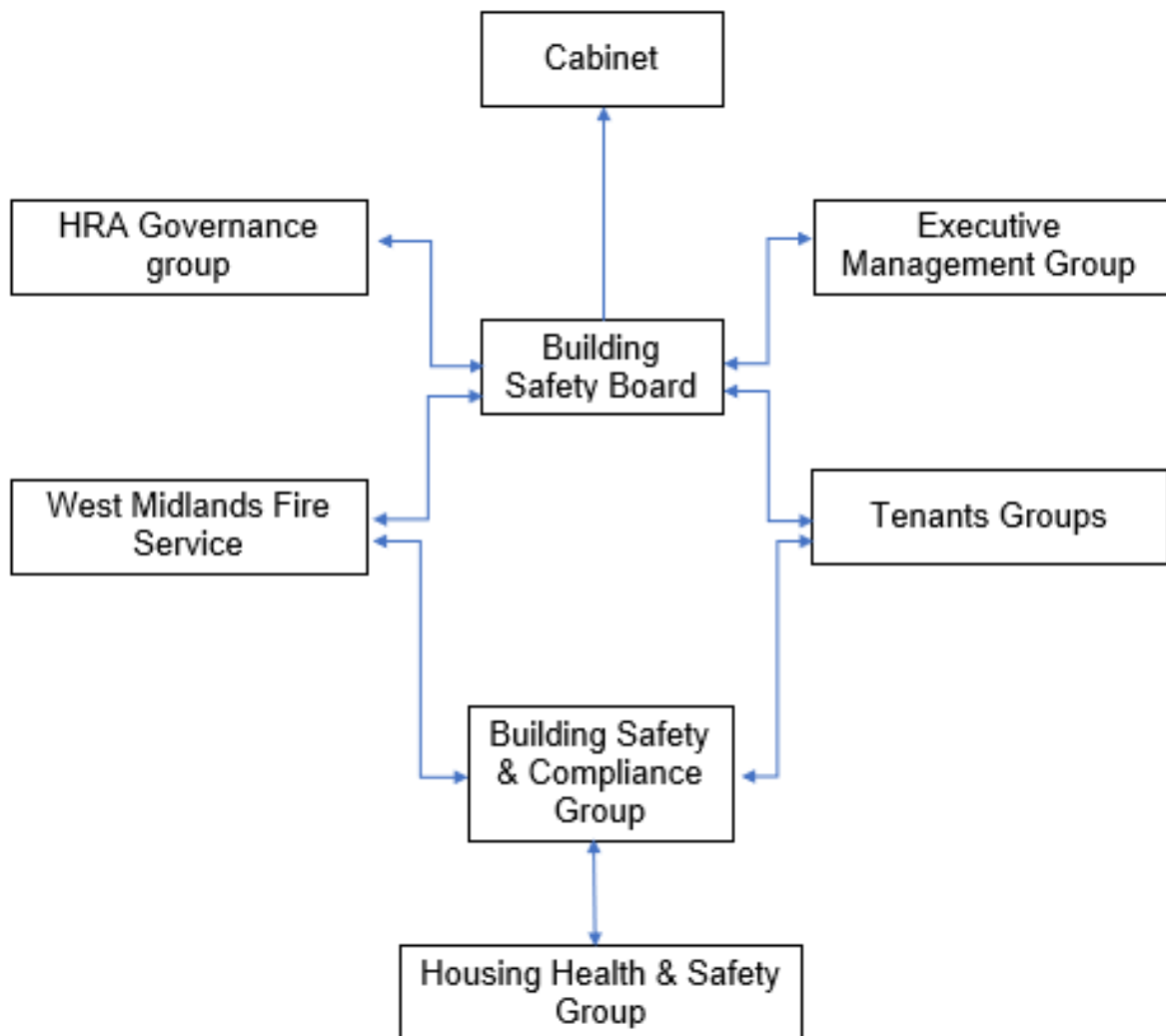
The following diagrams illustrate those procedures and persons that support the effective planning, organisation, control, monitoring and review of the preventive and protective measures. This information is provided as required under the RR(FS)O.



The above processes and procedures are overseen by the Fire Safety, Manager who reports to the Head of Building Safety

These managers attend the Building Safety and Compliance Group for scrutiny which is part of the governance structure below.

Governance Structure



To summarise the fire risk assessment, in this scenario the RR(FS)O requires the prescribed information to be recorded. The prescribed information is the significant findings of the fire risk assessment and those groups or persons especially at risk from fire. This is recorded here in [section 1](#). Also required to be recorded under article 11, are the fire safety arrangements for the planning, organisation, control, monitoring and review of the preventative and protective measures. The information shown above is part of this requirement.

Section

1

Significant findings

The significant findings (executive summary) of the fire risk assessment include those measures that have been or will be undertaken by the responsible person in order to comply with the RR(FS)O 2005. Groups of people especially at risk of fire include such people as remote or lone workers, at risk due to layout of the building, visitors and contractors unfamiliar with the building layout as well as those with physical, sensory or mental health issues. A third requirement that under the order must be recorded is the fire safety arrangements. This is the effective planning, organisation, control, monitoring and review of the preventive and protective measures. These are shown in the introduction.

Significant findings

Include a brief summary of protective and preventative measures where relevant along with any issues found;

The escape strategy is '**Stay Put Unless**'. This means in the event of a fire in your flat you should evacuate. If there is a fire elsewhere in the building you should stay put unless you are affected by fire, smoke or you have been advised by the emergency services to leave.

| Section number | Section Area | Individual Risk Level |
|---------------------------|---|-----------------------|
| Section 6 | <p>External Envelope</p> <p>Solar PV to the roof.</p> <p>Blockwork from ground to 1st floor.</p> <p>Wetherby EWI render system class A2 rated 2nd to 8th floor on gable ends.</p> <p>HPL rainscreen panels class B-s2-d0</p> <p>Anti-bird netting to balconies of flats 24, 25 & 29</p> <p>Bamboo screening to balcony of flat 27</p> | Tolerable |

| | | |
|-----------------------------------|---|------------------|
| <p>Section 7</p> | <p>Means of Escape from Fire</p> <p>There are 2 protected staircase's that provide a sufficient means of escape.</p> <p>All communal doors along the means of escape are self-closing FD30s fire doors with combined intumescent strips / cold smoke seals & vision panels.</p> <p>Flat 29 entrance door require attention to loose door viewer.</p> | <p>Tolerable</p> |
| <p>Section 8</p> | <p>Fire Detection and Alarm Systems</p> <p>Fire detection within flats is installed to LD2 standard.</p> <p>Smoke detection to storage areas on ground floor</p> <p>Automatic opening vents are installed to both stairwells.</p> <p>A deluge system is provided to the bin store.</p> | <p>Trivial</p> |
| <p>Section 9</p> | <p>Emergency Lighting</p> <p>The premises have a sufficient emergency / escape lighting system with a central battery for emergency power.</p> | <p>Trivial</p> |
| <p>Section 10</p> | <p>Compartmentation</p> <p>The building is designed to provide as a minimum 1-hour vertical fire resistance and 1-hour horizontal fire resistance around flats stairwells and lift shafts.</p> <p>All communal & flat entrance doors are 30-minute fire doors with intumescent strips &</p> | <p>Trivial</p> |

| | | |
|----------------------------|---|-----------|
| | <p>cold smoke seals, including those in 1-hour rated walls.</p> <p>All service / storage cupboard doors are minimum 44mm 30-minute fire doors.</p> | |
| Section 11 | <p>Fire Fighting Equipment</p> <p>There is a fire hydrant adjacent the front main entrance.</p> <p>The dry riser serves all floors from 1-8.</p> <p>There is a C02 fire extinguisher within the lift motor room.</p> <p>There is a deluge system in the bin store.</p> <p>Maintenance contracts are in place to service the dry riser twice yearly and the fire extinguisher annually.</p> | Trivial |
| Section 12 | <p>Fire Signage</p> <p>Sufficient signage is displayed throughout the building.</p> <p>Escape signage to some doors display incorrect directional arrow.</p> | Tolerable |
| Section 13 | <p>Employee Training</p> <p>All staff receive basic fire safety awareness training.</p> | Trivial |
| Section 14 | <p>Sources of Ignition</p> <p>The fixed electric tests should be done every 5 years, last test date: April 2022.</p> | Trivial |

| | | |
|----------------------------|--|---------|
| Section 15 | Waste Control Regular checks by Caretakers minimise risk of waste accumulation. Refuse containers are secured within the bin store. | Trivial |
| Section 16 | Control and Supervision of Contractors and Visitors Contractors are controlled centrally, and hot works permits are required where necessary. | Trivial |
| Section 17 | Arson Prevention A door entry system prevents unauthorised access. Perimeter lighting is in place. CCTV is in operation. | Trivial |
| Section 18 | Storage Arrangements There are 2 x cleaner's store located on the ground floor. Residents have access to secure storage sheds on the ground floor | Trivial |

Considering the nature of the premises and the occupants, as well as the fire protection and procedural arrangements observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

Slight Harm Moderate Harm Extreme Harm

In this context, a definition of the above terms is as follows:

| | |
|----------------------|--|
| Slight harm | Outbreak of fire unlikely to result in serious injury or death of any occupant (other than an occupant sleeping in a room in which a fire occurs). |
| Moderate harm | Outbreak of fire could foreseeably result in injury including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities. |
| Extreme harm | Significant potential for serious injury or death of one or more occupants. |

Accordingly, it is considered that the risk to life from fire at these premises is:

Trivial Tolerable Moderate Substantial Intolerable

Comments

In conclusion, the likelihood of a fire is at a medium level of risk prior to the implementation of the action plan because of the potential fire hazards that have been highlighted within the risk assessment, including the addition of anti-bird netting to 3 x individual balconies and the minor repair to flat 29 door viewer.

After considering the use of the premise and the occupants within the block, the consequences for life safety in the event of a fire would be slight harm. This is due to there being sufficient compartmentation to include FD30s doors to flat entrances & communal corridors / landings, alongside suitable smoke detection to LD2 standard within flats, automatic smoke ventilation system to each staircase and a Stay Put – Unless policy.

Overall the level of risk at the time of this FRA is tolerable, this will be lowered to trivial once recommended actions have been completed.

A suitable risk-based control plan should involve effort and urgency that is proportional to risk. The following risk-based control plan is based on one that has been advocated for general health and safety risks:

| Risk level | Action and timescale |
|--------------------|--|
| Trivial | No action is required, and no detailed records need to be kept. |
| Tolerable | No major additional fire precautions required. However, there might be a need for reasonably practicable improvements that involve minor or limited cost. |
| Moderate | It is essential that efforts are made to reduce the risk. Risk reduction measures, which should take cost into account, should be implemented within a defined time period. Where moderate risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures. |
| Substantial | Considerable resources might have to be allocated to reduce the risk. If the premises are unoccupied, it should not be occupied until the risk has been reduced. If the premises are occupied, urgent action should be taken. |
| Intolerable | Premises (or relevant area) should not be occupied until the risk is reduced. |

(Note that, although the purpose of this section is to place the fire risk in context, the above approach to fire risk assessment is subjective and for guidance only. All hazards and deficiencies identified in this report should be addressed by implementing all recommendations contained in the following action plan. The fire risk assessment should be reviewed regularly.)

Section

2

People at Significant Risk of Fire

Persons at significant risk of fire does not just refer to those people with physical, sensory or mental health issues. It also includes those at risk due to the layout or features of the building such as inner rooms or dead-end conditions. Persons may also be at risk due to remote or lone working.

The RR(FS)O requires that these people are identified in any fire risk assessment.

Sandwell Council takes the health, safety and wellbeing of its colleagues, contractors, residents and leaseholders seriously. It is our policy to exceed, where possible, the minimum health and safety requirements of the law.

Residents are responsible for letting us know whether they might need a Personal Emergency Evacuation Plan (PEEP). The Resident Engagement Officers (Fire Safety) will conduct an assessment visit upon request. Any risk-reduction measures that are found where a PEEP is necessary and completed will be documented and taken quickly. With the consent of the resident, we will make a referral for West Midlands Fire Service to conduct a Safe and Well visit.

When a PEEP is in place, the relevant information will be kept in the secure Premise Information Box (High Rise Buildings only), which is set up to help WMFS in an emergency. The data is classified as level 1, which means it complies with the General Data Protection Regulations.

| Property No | Referral date | Date completed | Review date | Additional observations |
|-------------|---------------|----------------|-------------|-------------------------|
| 7 | n/a | 30/03/2023 | 01/04/2023 | n/a |
| | | | | |
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Section

3

Contact Details

The Chief Executive of Sandwell Metropolitan Borough Council has ultimate responsibility for the site as the responsible person identified by the RR(FS)O 2005.

The Chief Executive has put a structure in place to support the management of the site.

This includes the role of Building Safety Manager who has duties as defined within the Regulatory Reform (Fire Safety) Order 2005.

The contact names to support the management of the site are as follows:

Chief Executive

Shokat Lal

Interim Director of Housing

Dean Epton

Assistant Director Building Compliance

Phil Deery

Fire Safety Manager

Tony Thompson

Team Lead Fire Safety

Jason Blewitt

Fire Risk Assessor(s)

Carl Hill

Louis Conway (Trainee)

Anthony Smith

Resident Engagement Officer - Fire Safety

Lee Mlilo

Abdul Monim Khan

Housing Office Manager

Rushpal Dhaliwal

Please note, the above details are correct at the time of the production of the risk assessment and may be subject to change

Section 4

Description of Premises

Nelson House 1-34
Upper Church Lane
Tipton
West Midlands
DY4 9PW

Description of the Property

This high-rise block was constructed in 1961 of concrete frame with masonry infill. During 2017 refurbishment works the external wall system to all elevations was upgraded to include, blockwork to 1st floor level, high pressure laminate panels (class B-s2-d0) from 1st to 8th floors / front elevation and EWI render system (class A2). During the same refurbishment a steel frame pitched aluminium standing seam roof with mineral wool core was added with a solar PV system over the original flat roof.



The block consists of 9 storeys (inclusive of the ground floor) with 2 number dwellings to the ground floor and 4 to each floor above.

| Nelson House | |
|----------------|---------------|
| 8th Floor..... | Flats 31 - 34 |
| 7th Floor..... | Flats 27 - 30 |
| 6th Floor..... | Flats 23 - 26 |
| 5th Floor..... | Flats 19 - 22 |
| 4th Floor..... | Flats 15 - 18 |
| 3rd Floor..... | Flats 11 - 14 |
| 2nd Floor..... | Flats 7 - 10 |
| 1st Floor..... | Flats 3 - 6 |
| Grd Floor..... | Flats 1 - 2 |

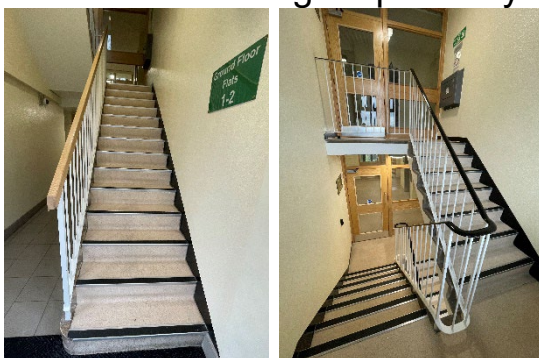
The block has a main entrance/exit to the front elevation and a further entrance/exit located on the rear elevation.



The main entrance to the front elevation has a door entry system with a fob reader installed. The entrance to the rear elevation is accessed by the installed fob reader. The front entrance only, has a firefighter override by use of a drop latch key.



Floors ground to 8 are served by 2 protected staircases to the front and rear of the building respectively.



Floors ground to 7 are served with a single lift car. The lift motor room is on the 8th floor.



The bin store is situated to the right-hand side of the rear entrance.



There is a cleaner's cupboard beneath the front ground floor staircase.



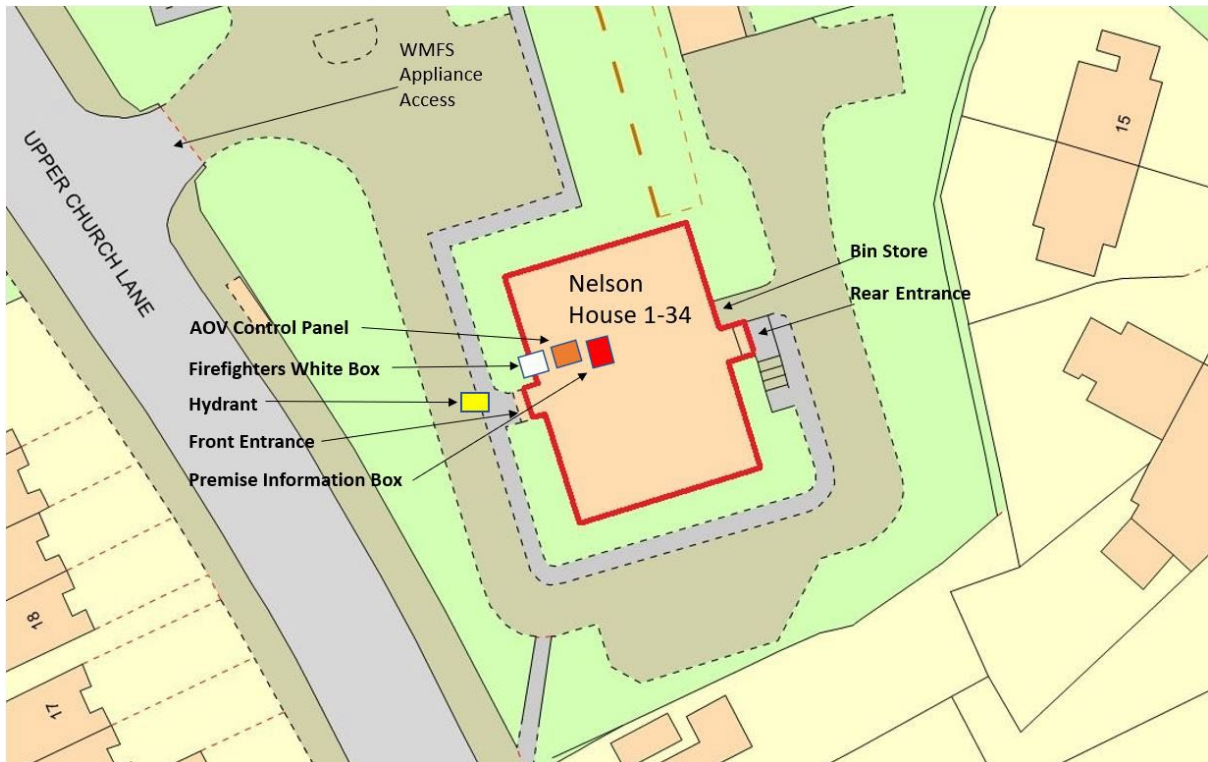
There's a door from the rear entrance lobby to the staircase side which leads to a further cleaner's cupboard with welfare room, WC & residents storage sheds.

Opposite the staircase is another door in the rear entrance lobby which leads to further resident's storage sheds, electrical service cupboards and cupboard housing the battery for the centrally powered emergency lighting system.

Ground Floor



On arrival Information (for WMFS)



There is a firefighter's white box externally to the left-hand side of the main entrance to the front of the building. The box contains all keys for the building and is secured with a bridge-door padlock.



Access is gained via the firefighter's door override switch (front entrance) utilising the drop latch key from the white box.



There is a Secure Premise Information Box (PIB) located in the ground floor front entrance lobby. It is a Gerda box that utilises a standard WMFS suited key held on each fire appliance. The PIB contains floor plans, vertical plans, orientation plans, information for WMFS and a plan to indicate the location of those with vulnerabilities who may require additional consideration if there is a fire incident (PEEP).



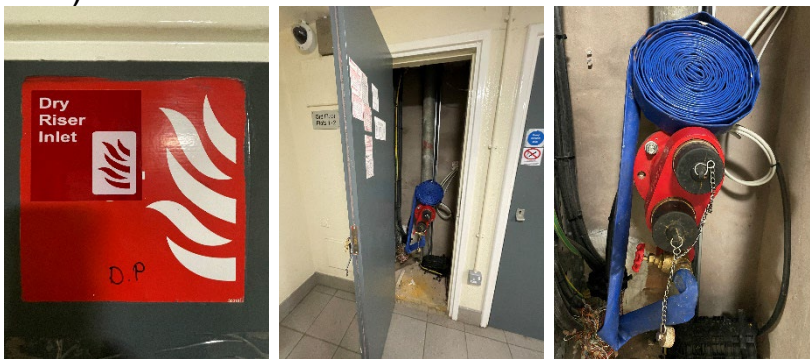
There is a firefighter's lift override switch adjacent the ground floor lift car. This is operated by the drop latch key.



The fire hydrant is in front of the main entrance.



The dry riser inlet cupboard is in the ground floor lift lobby. It is accessed utilising the key contained in the white box (suited 54 key & mortice lock).



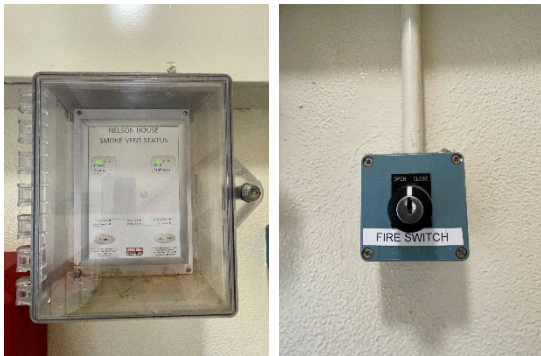
Dry riser outlets are available on each floor lobby (1st – 8th) also secured within cupboards by suited 54 key & mortice locks.



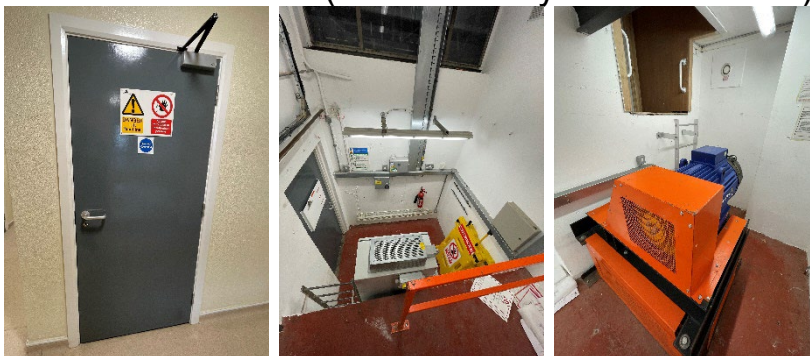
The bin store is protected with an Autoquench sprinkler system (suited cylinder key). The control panel is located on the wall within the ground floor area containing the welfare room, WC, resident storage sheds. This area is accessed via the door in the rear entrance lobby on the staircase side (suited 138 key & mortice lock).



Automatic opening vents are installed to the front and rear staircases. The information panel & firefighter override switch are immediately left the main front entrance.



The lift motor room is located on the 8th floor and is secured behind an FD60s timber door (suited 54 key & mortice lock).



Within the lift motor room is a secured door which leads to the internal roof area (suited 54 key & mortice lock).

Fire Risk Assessment



The internal roof area contains the electrical switch gear for the solar PV system and a vertical ladder which leads to the external roof via a sky light.



Fire Risk Assessment

| | | | |
|---|--|-----------------------|------------------------|
| Address: Nelson House, Upper Church Ln, Tipton DY4 9PW | | Survey date: 25/03/23 | ON ARRIVAL INFORMATION |
| BUILDING LAYOUT | | | |
| Size: Width, breadth and height | | | |
| Construction | Concrete-Brick construction. Brickwork to 1 st floor - Ibstock Staffordshire Smooth Blue / Cheddar Golden brick slips Above first floor, gable walls have insulated EWI mineral wool render (Fire Classification A2) The front and rear façade has high density Bauclad laminate board panels (Fire Classification B-s2, d0). Powder coated aluminium window frames. | | |
| Number of floors | 9 including the ground floor | | |
| Layout | <p>The block has a main entrance/<u>exit</u> to the front elevation of the building with a additional entrance/<u>exit</u> to the rear of the building.</p> <p>Ground floor consists of two occupied flats <u>caretakers</u> office and tenants stores behind FD30s timber doors separate from the lobby.</p> <p>Lift and two sets of staircases granting access to upper floors, with four flats on each floor and the lift motor room accessed on the 8th floor.</p> <p>Smoke extraction vents located on the staircase of all floors with the control panel in the lobby at the main entrance door</p> | | |
| Lifts | 1 | | |
| Types of entrance doors | IG doors, FD30s composite fire doors to flats and timber FD30s doors to communal areas | | |
| Rubbish chutes/ bin rooms | Yes, secured behind FD30s timber fire doors, other than ground floor | | |
| Common voids | No | | |
| Access to roof/ service rooms | The motor room is located on the 8th floor; access to motor room via full height door (secured with a suited 54 mortice lock) from 8th floor landing, with further fixed steel ladder's leading up to the FD30s rated fire door into the enclosed roof void (secured with a suited 54 mortice lock) There is a vertical ladder and sky light leading out on the roof | | |
| Occupants | Approx. 68 based on an average of 2 occupants per flat (34 flats) | | |
| Evacuation strategy | Stay Put Unless- The escape strategy is 'Stay Put Unless'. This means in the event of a fire in your flat you should evacuate. If there is a fire elsewhere in the building you should stay put unless you are affected by fire or smoke | | |
| Fire alarm/ evacuation alarm | Early warning is limited to hard wire or battery smoke alarms within each of the resident's flats. | | |
| Caretaker/ concierge | Caretaking/cleaning service that conducts regular checks of the building | | |
| FIREFIGHTING SYSTEMS | | | |
| Water supplies | Fire hydrant is located 3m from the front entrance of the building fire hydrant located on the orientation <u>plan</u> . | | |
| Fire mains | The dry riser inlet is located within the ground floor dry riser cupboard (twin valve) secured with a type 54 suited mortice lock. | | |
| Firefighting shafts | No firefighting lifts/shafts however there is the ability to take control of the common lift A Firefighter control switch is located within the ground floor lobby | | |
| Smoke control vents | Automatic smoke ventilation is employed on both staircases. There are master reset key switches located on the ground floor. | | |
| Sprinkler system | A sprinkler system is provided to the bin store | | |
| DANGEROUS SUBSTANCES | | | |
| Location, type, and quantity | ROOF – FLUE TERMINALS X 9 CEMENT UN-SEALED PRESUMED <u>CHRYSOTILE</u> , GROUND FLOOR STORAGE AREA X 2 – LARGE DIAMETER PIPE FLOOR TO CEILING CEMENT 2.5 Im SEALED PRESUMED CHRYSOTILE, MAIN ROOF SARKING OR FLAT ROOF MINERAL FELT BITUMINOUS. | | |
| SERVICES | | | |
| Electricity | Electric meter cupboards located on each floor of the block | | |
| Gas | Gas isolation points located on the orientation plan | | |

The communal, any workplace areas and the external envelope of the building are subject to the Regulatory Reform (Fire Safety) Order 2005 as confirmed by the Fire Safety Act 2021.

The enforcing authority is West Midlands Fire Service

| | |
|---|--|
| High/Low Rise | High |
| Number of Floors | 9 |
| Date of Construction | 1961 |
| Construction Type | Concrete / Masonry |
| Last Refurbished | 2009 |
| External Cladding | Blockwork to 1 st floor - Ibstock Staffordshire Smooth Blue / Cheddar Golden brick slips Above first floor, gable walls have insulated EWI mineral wool render (Fire Classification A2) The front and rear façade has high pressure Bauclad laminate panels (Fire Classification B-s2, d0). Aluminium fascia's all round. |
| Number of Lifts | 1 |
| Number of Staircases | 2 |
| Automatic Smoke Ventilation to communal area | Yes, to stairwells. |
| Fire Alarm System | No |
| Refuse Chute | Yes – rear staircase |
| Access to Roof | Access to roof area via door within the lift motor room. Further access to external roof via steel ladder & skylight. |
| Equipment on roof (e.g. mobile phone station etc) | Solar PV System |

Persons at Risk






Residents / Occupants of 34 flats,
 Visitors,
 Sandwell MBC employees,
 Contractors,
 Service providers (e.g. meter readers, delivery people etc)
 Statutory bodies (e.g. W.M.F.S, Police, and Ambulance)

Section 5

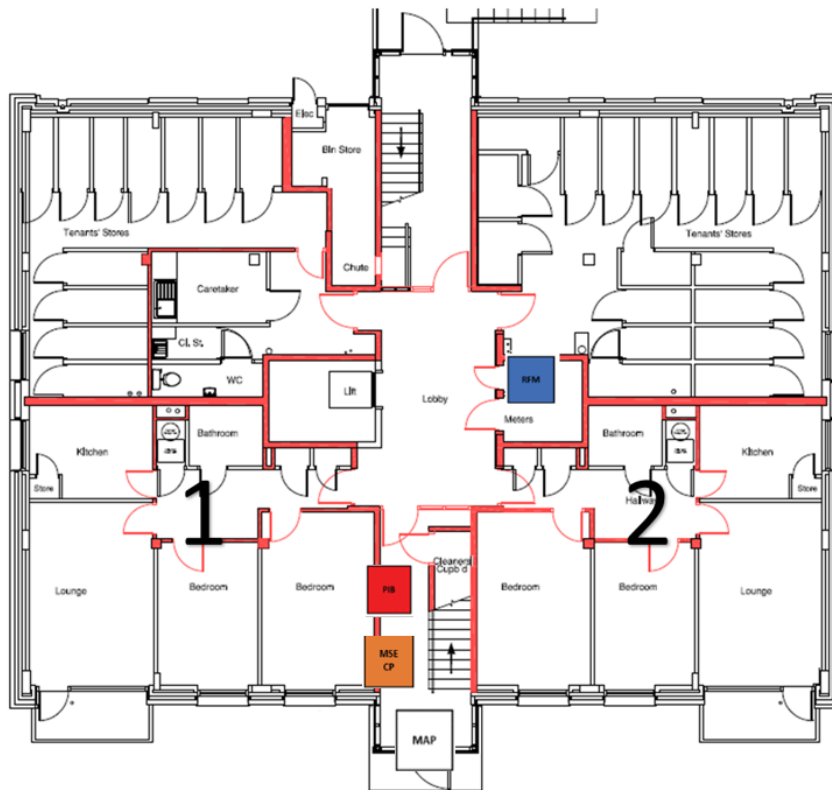
Building Plan

A typical floor layout showing horizontal lines of compartmentation, lift shafts, dry riser installation and AOVs etc.

The plans have been shared with WMFS electronically via their portal.

-  premise information box
-  main access point
-  dry riser
-  mechanical smoke extraction
-  mechanical smoke extraction control panel

Ground Floor



Typical upper floor 1st – 7th

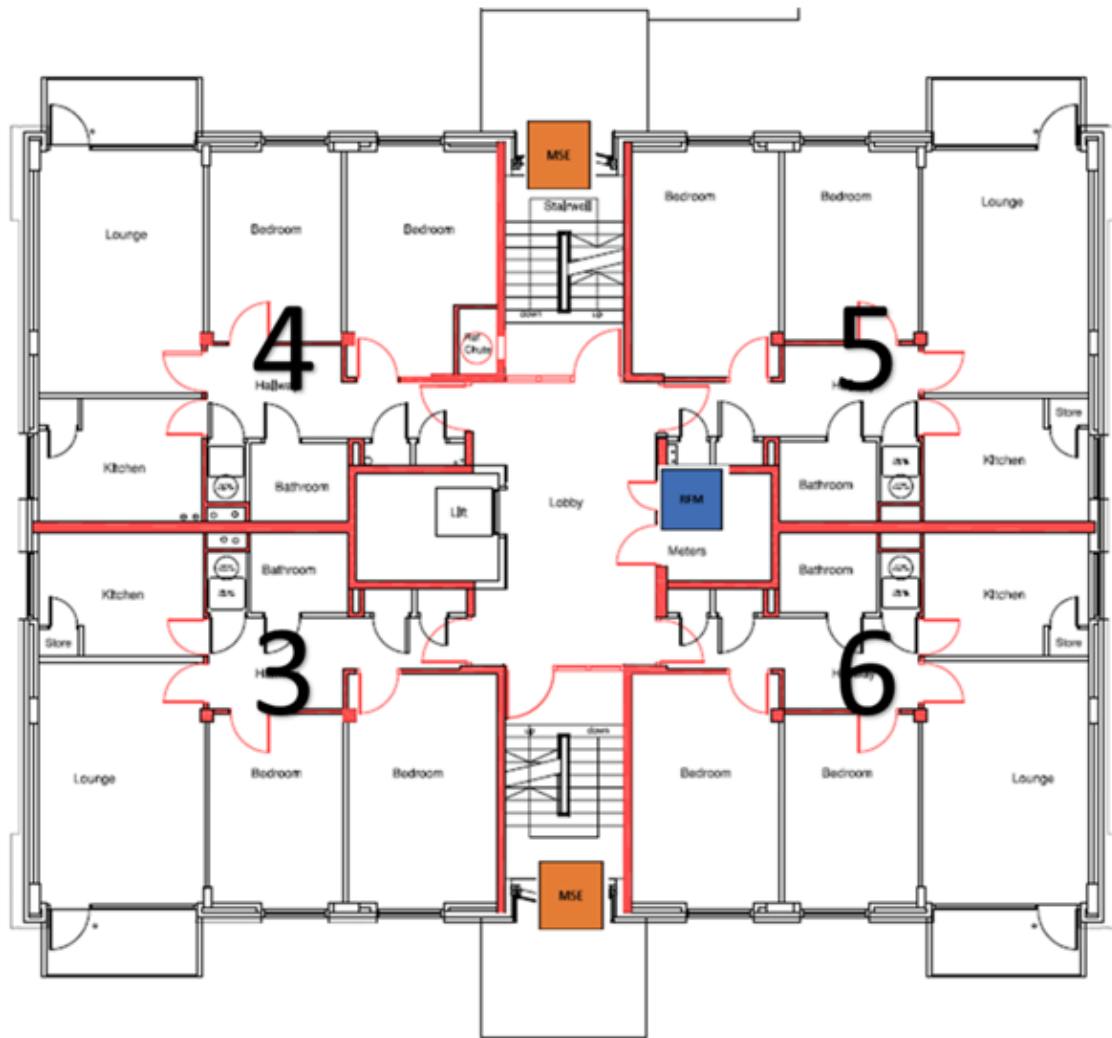




dry riser



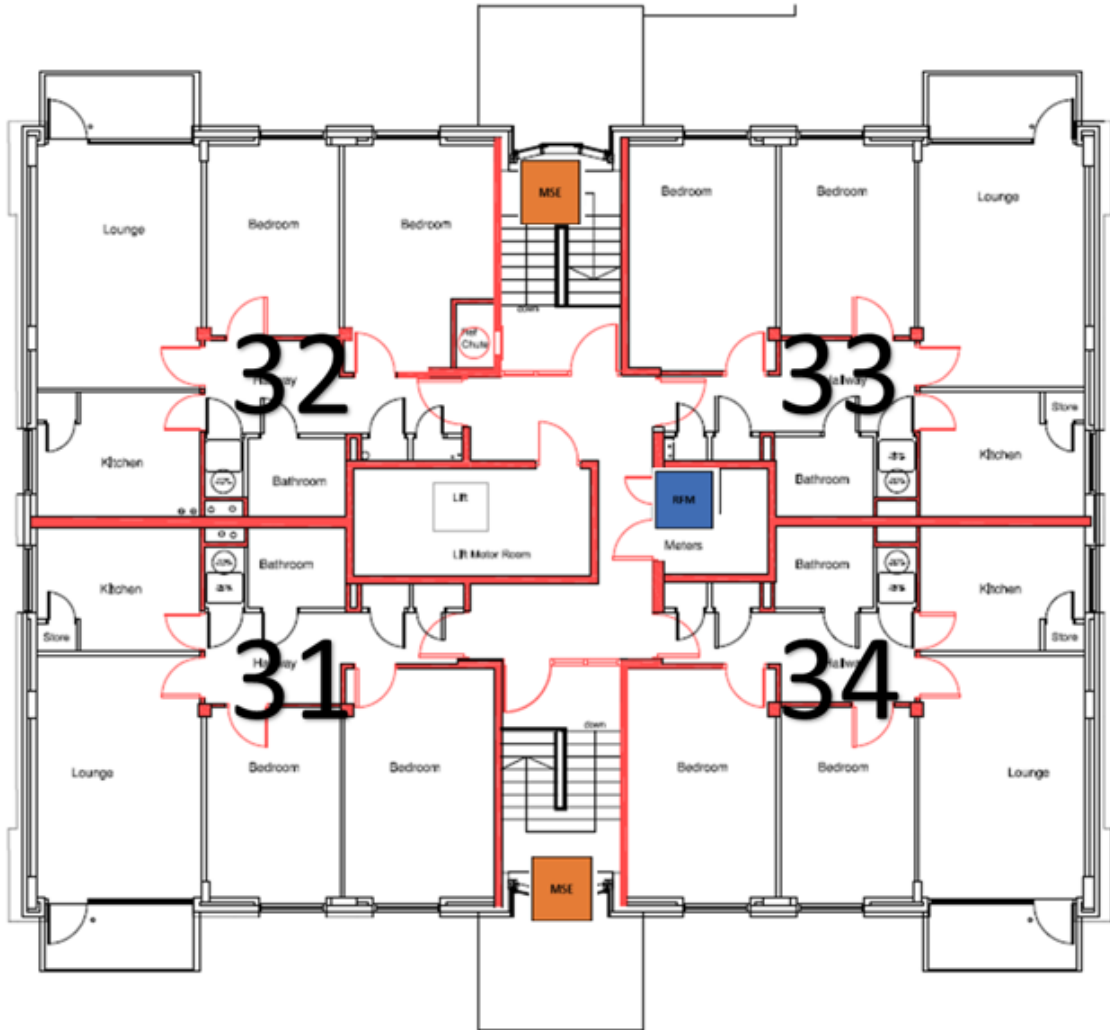
mechanical smoke extraction

1st Floor

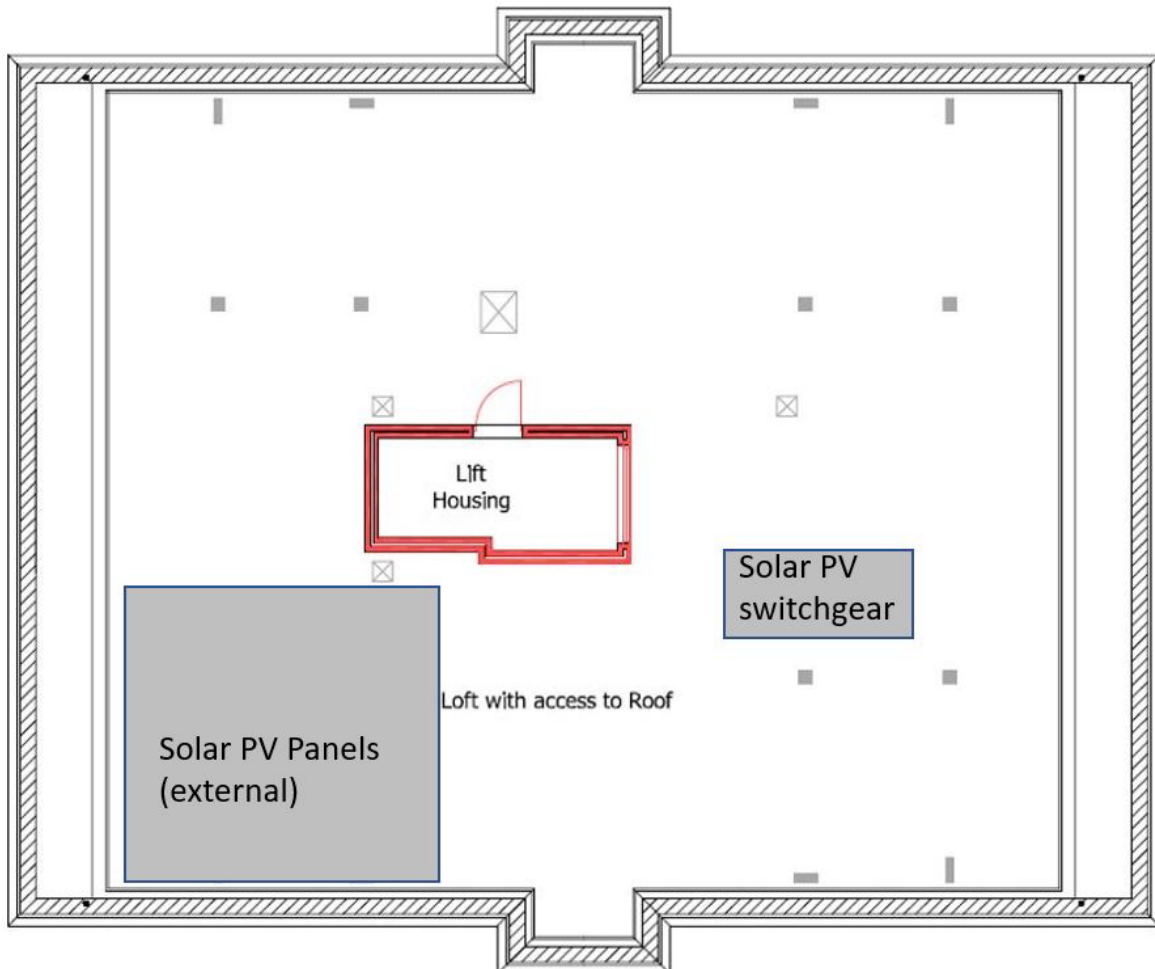


-  dry riser
-  mechanical smoke extraction

8th Floor



Roof



**Section
6**

External envelope

Following the introduction of the Fire Safety Act 2021, consideration needs to be given to the external envelope of the building for any fire risk. This predominantly means the external wall construction including any insulation filler. It also includes balconies and any other fixtures as well as doors and windows.

Details of the external wall construction have been provided to the fire service via the WMFS portal in line with fire safety regulations 2022

Below is a breakdown of the materials used within the external envelope and, as part of the external wall system of Nelson House.

It is deemed that the combination and application of these materials in conjunction with a non-combustible mineral wool insulation present an acceptable level of fire risk.

However, the presence of combustible screening & netting that some residents have installed to their balconies could potentially support the external spread of flame in the event of a fire.

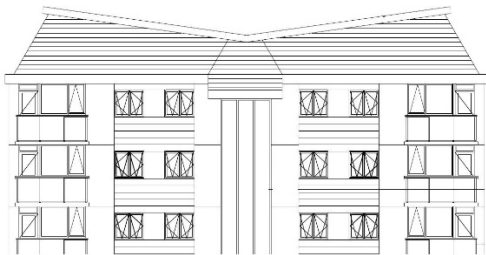


1) Nelson House has 4 separate areas of cladding consisting of;

- Blockwork ground to first floor consisting of Ibstock Staffordshire Smooth Blue & Cheddar Golden brick slips.
- Baucrad high pressure laminate panels manufactured by Euro Clad LTD 1st – 8th floors. Fire classification B-s2-d0
- Wetherby EWI render system to the gable ends (fire classification A2) – 1st – 8th floors.
- 2mm thick aluminium fascia's.

2) Mineral wool manufactured by Rockwool (classification A1) has been used to insulate the external wall system.

3) The pitched roof is a steel framed construction with aluminium standing seam with mineral wool core.



4) Entrance doors and communal windows are powder coated aluminium units. Windows to individual flats and communal storage areas are powder coated aluminium externally and timber internally.



5) Each flat within the block has access to an individual balcony. The balconies are constructed utilising cantilevered concrete with a steel and glass balustrade.

6) Combustible netting has been installed to the balcony of flat 24.



7) Combustible netting has been installed to the balcony of flat 25.



8) Combustible netting has been installed to the balcony of flat 29.



9) Combustible bamboo screening has been installed to the balcony of flat 27.

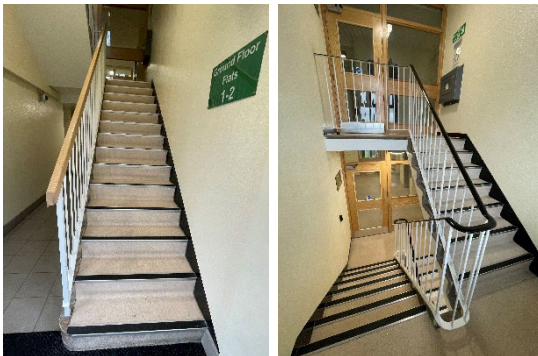


Section

7

Means of Escape from Fire

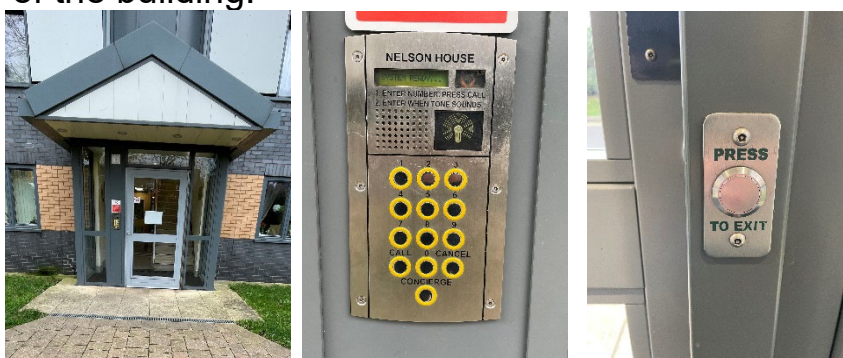
- 10) The site has 2 protected staircases that provide a sufficient means of escape. Each staircase in width is 1000mm from hand rail to wall.



- 11) All corridors are of adequate width (at least 1050mm) and will be maintained clear to that width as a minimum.
- 12) None of the corridors that form part of the means of escape are dead ends.
- 13) The means of escape are protected to prevent the spread of fire and smoke.
- 14) The communal landing / staircases are protected by use of FD30S timber doors with vision panels and combination frames. All doors were installed during the 2017 refurbishment works.



- 15) All communal doors are fitted with automatic closing devices that are checked on a regular basis by Caretaking Teams as part of their checks. Defective closing devices are replaced either by the Caretaking Team(s) or the in-house repairs team(s).
- 16) All communal fire doors are subject to a 12-week check by the Fire Safety Rapid Response Team.
- 17) The final exit doors have door entry systems installed. These systems are designed to fail safe i.e. door unlocked in the event of a power failure. This prevents residents being locked in or out of the building.



- 18) Automatic smoke ventilation is employed. This is tested, inspected and maintained by a competent procured contractor in accordance with BS7346. The frequency for the maintenance checks are twice per year (April and October) of each calendar year.
- 19) Automatic opening vents have been installed to both stairwells. The information panel and firefighter override switch are located in the ground floor entrance lobby.



20) Communal windows to each stairwell are openable.

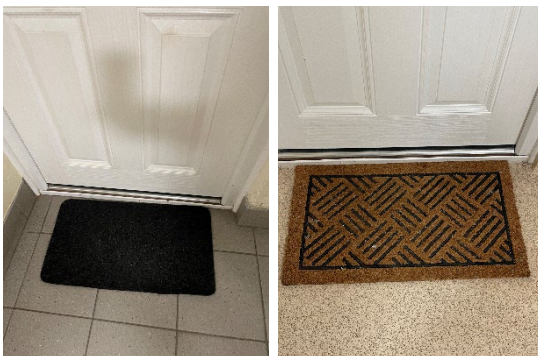


21) The refuse chute hoppers are fitted with intumescent strips and smoke seals. Hoppers are in the rear stairwell.



22) Communal areas are kept free of flammable items. The communal areas are checked on a regular basis by Caretaking / Cleaning teams 365 days per year and all items of rubbish are immediately removed. There is also an out of hour's service that allows combustible items of furniture / rubbish to be removed.

23) Individual floor mats were noted outside some flats. Fire rating of the mats is unknown but deemed to be of low risk.



24) Emergency lighting is provided to communal landings and stairs. Checks are done on a monthly basis by Sandwell MBC in house electrical team or approved contractor.

- 25) Dry riser inlet & outlets are on lobbies and housed in cupboards with nominal 44mm 30-minute fire doors with combined intumescent strips & cold smoke seals.



- 26) Service cupboards in lobbies have 44mm nominal fire doors with combined intumescent strips and cold smoke seals. All doors are secured with suited mortice locks. Residents are provided with a 138-suited key for access to those cupboards containing domestic meters.

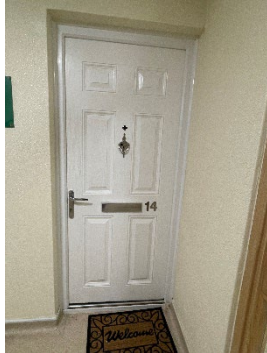


8th Floor - meters - secured with suited 138 mortice lock
7th Floor - no meters- secured with suited 54 mortice lock
6th Floor - meters - secured with suited 138 mortice lock
5th Floor - meters - secured with suited 138 mortice lock
4th Floor - no meters- secured with suited 54 mortice lock
3rd Floor - meters - secured with suited 138 mortice lock
2nd Floor - meters - secured with suited 138 mortice lock
1st Floor - no meters- secured with suited 54 mortice lock
Ground - meters - secured with suited 138 mortice lock

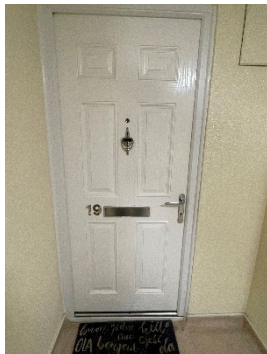
- 27) The surface coatings to the communal areas are Class 0 rated.
-

- 28) The building has sufficient passive controls that provide effective compartmentation in order to support a Stay Put-Unless Policy. Therefore, residents are advised to remain in their flat unless the fire directly affects them, or they are asked to leave by the emergency services.
- 29) Individual flat doors are FD30s composite fire door sets with intumescent strips, cold smoke seals and self-closing devices manufactured by IG doors.
- 30) Access is gained to a sample of properties as part of the fire risk assessment to ensure the doors have not been tampered with by residents etc.

- a) Flat 14 – Door was correct.



- b) Flat 19 – Door was correct.



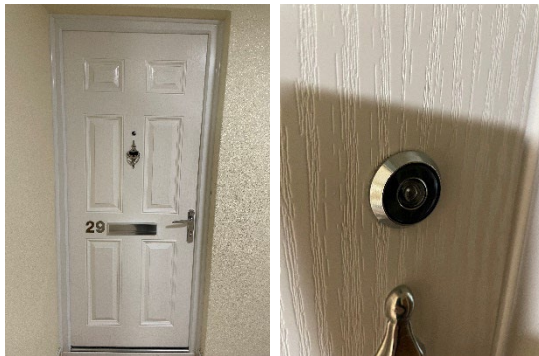
- c) Flat 22 – Door was correct.



d) Flat 25 – Door was correct.



e) Flat 29 - Door viewer within leaf was loose and not secure.



Section

8

Fire Detection and Alarm Systems

- 1) Early warning is limited to hard wire or battery smoke alarms within each of the resident's flats. The equipment is subjected to a cyclical test.
- 2) Based on the sample of properties accessed during the fire risk assessment the smoke alarms within resident's flats are installed to an LD2 Standard.

Flat 29 – LD2
Flat 25 – LD2
Flat 22 - LD2
Flat 19 - LD2
Flat 14 - LD2

LD1 all rooms except wet rooms

LD2 all-risk rooms e.g. Living Room, Kitchens and Hallway.

LD3 Hallway only

- 3) There is no effective means for detecting an outbreak of fire to communal areas. The reason for this are:
 - I. Such systems may get vandalised.
 - II. False alarms would occur.
 - III. A Stay Put - Unless policy is in place
- 4) Hardwired smoke detection was noted within the area containing resident's storage sheds.



- 5) A sprinkler or deluge system is provided to the refuse chute bin store. An approved contractor maintains the system. The frequency for the maintenance checks are twice per year (April and October) of each calendar year. The control panel for the system is located in the WC which is off the ground floor lift lobby.



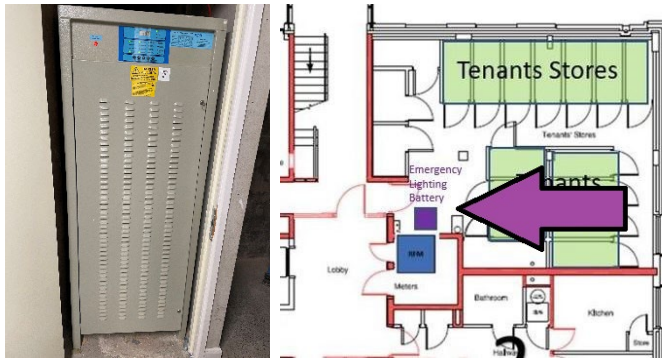
Section 9

Emergency Lighting

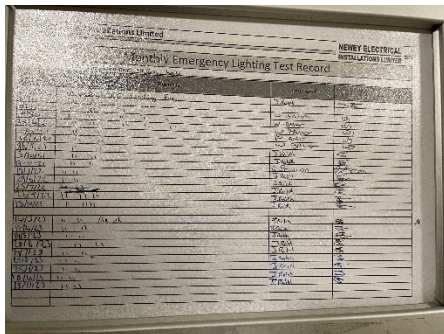
- 1) The premises has a sufficient emergency / escape lighting system in accordance with BS 5266 and has test points strategically located.



- 2) The units are provided to the communal landings, stairs and lift motor room. Emergency power is supplied by a central battery which is located on ground floor.
-



- 3) All installed equipment is checked and tested on a monthly basis by Sandwell MBC in house electrical team or approved contractor, in accordance with current standards.



Section 10

Compartmentation

This section should be read in conjunction with Section 4

- 1) The building is designed to provide as a minimum 1-hour vertical fire resistance and 1-hour horizontal fire resistance around flats stairwells and lift shafts. All doors are a minimum 30-minute fire resistant with intumescent strips & cold smoke seals, including those in 1-hour rated walls.
- 2) The premise has sufficient compartmentation to limit the travel and effect of smoke and flame in event of a fire. Whilst the existing fire stopping is fit for purpose, there is a cyclical programme to ensure fire stopping as not been compromised by third parties and where applicable enhance the fire stopping.

- 3) All communal doors are fitted with automatic closing devices that are checked on a regular basis by Caretaking Teams as part of their checks. Defective closing devices are replaced either by the Caretaking Team(s) or the in-house repairs team(s).
- 4) All communal fire doors are subject to a 12-week check by the Fire Safety Rapid Response Team.
- 5) All service cupboards to communal landings are locked with suited 54 or 138 key mortice locks. It was noted that cabling is run through metal trunking protected by intumescent pads or pillows.



- 6) A variety of methods / materials have been used to achieve fire-stopping including Rockwool, fire rated sponge and intumescent pillows.



- 7) The fire stopping / compartmentation is subject to a 12-week check by the Fire Safety Rapid Response Team.
 - 8) Any remedial works arising from the fire stopping / compartmentation check(s) will be actioned immediately by the Fire Safety Rapid Response Team.
 - 9) Individual flat doors are FD30s composite fire door sets with intumescent strips, cold smoke seals and self-closing devices manufactured by IG doors.
-

Fire Risk Assessment

| | | |
|--|----------|------------|
| Nelson House 1-34 (o&e); Upper Church Lane; Tipton; West Midlands; | | |
| 1 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 2 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 3 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 4 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 5 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 6 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 7 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 8 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 9 Nelson House; Upper Church Lane; Tipton; West Mid | IG Doors | Not glazed |
| 10 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 11 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 12 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 13 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 14 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 15 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 16 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 17 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 18 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 19 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 20 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 21 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 22 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 23 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 24 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 25 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 26 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 27 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 28 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 29 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 30 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 31 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 32 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 33 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |
| 34 Nelson House; Upper Church Lane; Tipton; West Mii | IG Doors | Not glazed |

- 10) The communal landing & staircases are protected by use of FD30S timber doors with vision panels and combination frames. Fire resistant glazing has been installed to all vision panels.



- 11) Central battery unit for the emergency lighting is housed in a cupboard with an FD30s door and vents with intumescent baffles.



- 12) Access panels to stop taps are fixed to masonry and bedded on Intumescent material.



Section 11

Fire Fighting Equipment

- 1) The dry riser inlet cupboard is in the ground floor lift lobby. It is accessed utilising the key contained in the white box (suited 54 key & mortice lock).



- 2) The riser outlets are available on each floor lobby (1st – 8th) also secured within cupboards by suited 54 key & mortice locks.



Section 12

Fire Signage

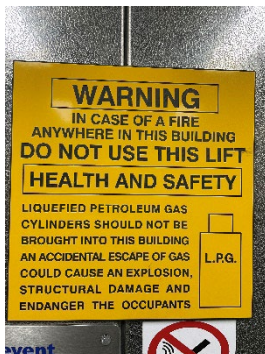
- 1) All fire doors display appropriate signage.



- 2) Fire Action Notices are displayed throughout the building.



- 3) Yellow LPG warning signs are displayed within the lift cars.



- 4) Signage depicting the floor location of each flat is fitted to the ground floor lobby wall.



- 5) Photoluminescent wayfinding signage depicting floor level and flat numbers are fitted to the walls on all floors adjacent the lift car's and to the wall of each landing on the communal staircase's. Signage that meets the requirement of ADB and Fire Safety (England) Regulations 2022



- 6) Directional fire escape signage has been installed throughout the building.



- 7) Directional fire escape sign to the door between the rear stairwell lobby and the welfare / storage should indicate the correct direction of travel (upwards arrow / progress forwards here).
-



- 8) There are no directional fire escape signs within the resident's storage area on the dry riser side of the building. It is recommended that directional signage is installed above the battery store with a right-hand arrow and above the exit door with an upwards arrow.



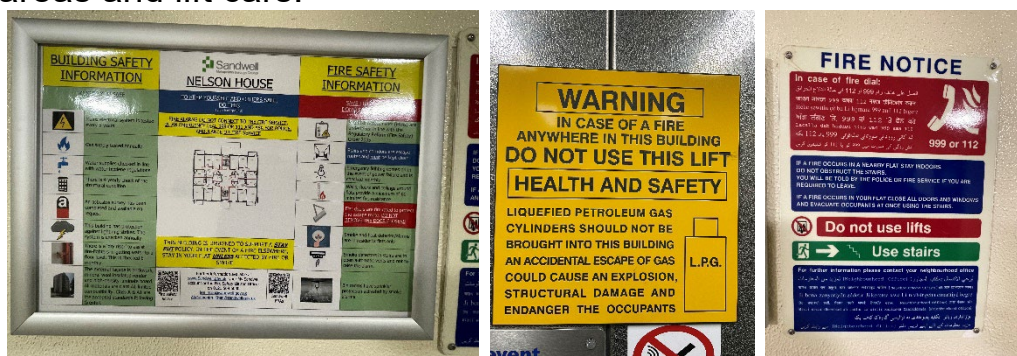
- 9) Escape signage depicting the wrong direction of travel was removed from the welfare room at the time of the assessment. It is not necessary to replace this sign due to the simple layout and small size of the room.



Section 13

Employee & Resident Training/Provision of Information

- 1) All Caretaking / Cleaning Employees have undertaken fire safety training. This includes use of bespoke 'Fire Safety in High / Low Rise Flatted Accommodation' Video.
- 2) All employees are encouraged to complete 'In the line of fire' training on an annual basis.
- 3) Caretaking Teams are not currently trained in the effective use of fire extinguishers. The only extinguishers located are within the lift motor room. Caretaking Teams are not expected to tackle fires in this area.
- 4) Housing Directorate employees assigned to undertake Fire Safety Inspections have received IFE approved training via West Midlands Fire Service.
- 5) Staff undertaking fire risk assessments are qualified to or working towards Level 4 Diploma in Fire Safety.
- 6) Fire safety information has been provided as part of tenancy pack.
- 7) Building safety and evacuation notices are displayed in common areas and lift cars.



8) Information regarding use of fire doors is provided to residents.





















9) Information regarding the Stay Put unless fire evacuation strategy is provided to residents.



Fire Risk Assessment

- 10) Information regarding building safety is contained within a Building Safety Notice. This is affixed to the wall on the ground floor lift lobby of high rise blocks.

| BUILDING SAFETY INFORMATION |  NELSON HOUSE | FIRE SAFETY INFORMATION |
|---|--|---|
| TO KEEP YOU SAFE WE DO THIS <small>(green background)</small> | TO KEEP YOURSELF AND OTHERS SAFE, DO THIS <small>(blue background)</small> | SAVE LIVES, DON'T DO THIS <small>(red background)</small> |
|  Mains electrical system is tested every 5 years | FIRE ALARMS DO NOT CONNECT TO THE FIRE SERVICE. IN AN EMERGENCY DIAL 999 OR 112 AND ASK FOR POLICE, AMBULANCE OR FIRE SERVICE |  Fire Risk Assessments (FRAs) are undertaken in line with the Regulatory Reform (Fire Safety) Order 2005 |
|  Gas supply tested annually |  |  Stairs and corridors are escape routes and must be kept clear |
|  Water supplies checked in line with water hygiene regulations | |  Emergency lighting comes on in the event of power failure and is checked monthly |
|  There is 4 yearly check of the structural condition | |  Walls, floors and ceilings around flats provide a minimum of 60 minutes fire resistance |
|  An asbestos survey has been completed and available on request | | Flat doors are fire rated to protect the escape route. DO NOT REMOVE THE DOOR CLOSERS |
|  This building has protection against lightning strikes. The system is checked annually | |  Smoke and heat detector/alarms are in resident's flats only |
|  There is a 'dry riser' to assist fire-fighters in getting water to a floor level. This is checked 6 monthly. | | THIS BUILDING IS DESIGNED TO SUPPORT A <i>STAY PUT</i> POLICY. IN THE EVENT OF A FIRE ELSEWHERE, STAY IN YOUR FLAT <i>UNLESS</i> AFFECTED BY FIRE OR SMOKE. |
|  The external façade is brickwork, mineral wool insulated render and high-density laminate board. All materials are class A1 limited combustibility. Class A & A1 are the accepted standards following Grenfell. |  Fire safety advice |  Sandwell FRAs |
| | Further information available at www.Sandwell.gov.uk your My Sandwell account or the Fire Safety Liaison Officer on 0121 569 6000 lee_milto@sandwell.gov.uk Abdulmonim.Khan@sandwell.gov.uk |  Bin rooms have sprinkler protection activated by smoke alarms |

Section 14

Sources of Ignition

- 1) Smoking is prohibited within any communal parts of the building in line with Smoke Free England legislation.



- 2) Hot working is not normally carried out. If essential maintenance requires the use of hot work processes, then corporate policies and procedures are to be followed.
- 3) Portable electrical equipment used as part of the Caretaking / Cleaning regime is subject to annual PAT Testing. This information is held by the Estate Services Manager Bryan Low.

There was no obvious evidence of a recent PAT to the floor buffing machine in the cleaner's cupboard beneath the front stairs or to the kitchen appliances in the welfare room. Confirmation has been received from the caretaking team that the appliances in question are going to be PAT on 28th November 2023.



- 4) The fixed electrical installation shall be tested every 5 years. The last inspection was noted as April 2022.



- 5) The electrical installation i.e. risers are contained within dedicated service cupboards that are secure and protected by means of a nominal 54mm timber fire door with intumescent strip & cold smoke seal.
- 6) There is lightning protection installed to the block. Maintenance contracts are in place for lightning conductor testing in accordance with BS 6651.
- 7) Portable heaters are not allowed in any common parts of the premises.
- 8) Gas appliances and pipework (where installed) are subject to annual testing and certification. This cyclical contract is managed by the in-house Gas Team. Gas supply pipework is external to the building.
-

**Section
15**

Waste Control

- 1) There is a regular Cleaning Service to the premises.



- 2) Refuse hoppers are accessed in each floor of the rear staircase.



- 3) Refuse containers are located in the bin store to the rear elevation.



- 4) Regular checks by Caretakers minimise risk of waste accumulation.

- 5) 'Out of Hours' service in place to remove bulk items.
-

Section 16

Control and Supervision of Contractors and Visitors

- 1) Responsive Repairs service delivered by Sandwell MBC necessitates the production of an order via the computerised repairs system. Details of any known risks are documented on the repair order.
 - 2) Hot works are not permitted unless authorisation is given via the approved officer. The hot works procedure is to be followed.
 - 3) Utility companies are not allowed to access any service cupboard or secure area. They must request and collect maintenance keys from the Investments office @ Roway Lane. This allows scrutiny of what is the scope of any works such as installation of tenant's broadband / phone line etc.
 - 4) Where contractors are appointed to undertake major refurbishment works, Sandwell MBC Urban Design team will put control measures in place. Such Measures include: -
 - a) Pre-Contract Meetings – where contractor is made aware of all working arrangements and safe systems of work to be adopted. Issues covered in this meeting will include:
 - Health and Safety.
 - Site security.
 - Safety of working and impact on children/school business.
 - Fire risk, if any.
 - Site Emergency Plan.
 - b) Monthly Site Meetings – in order to monitor, review and share any new information including any new risks.
 - c) Site monitored daily whilst work is in progress by Clerk of Works / Health and Safety Officers.
 - d) Final Contractor review on completion of works undertaken.
-

**Section
17**

Arson Prevention

- 1) Regular checks are undertaken by Caretakers / Cleaning Team(s) 365 days per year which helps reduce the risk of arson.
- 2) Restricted access to the premises by means of a door entry system.



- 3) CCTV has been installed to the front main entrance and within the lobbies.

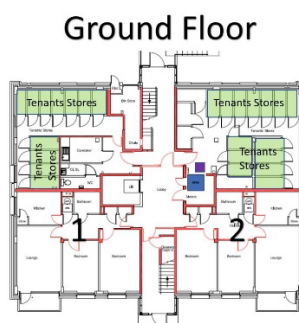


- 4) There is no current evidence of arson.
 - 5) The perimeter of the premises is well illuminated.
 - 6) There have been no reported fire incidents since the last FRA (March 2020).
-

Section 18

Storage Arrangements

- 1) Residents instructed not to bring L.P.G cylinders into block (Notice displayed in lifts).
- 2) The tenancy conditions, Section 7 – Condition 5.6 stipulates “If you live in a flat or maisonette, you, people living with you and any visitors to your property must not keep or use paraffin oil, petrol, bottled gas appliances or any other explosive, FLAMMABLE or dangerous material in the property. This restriction also applies to any storage facility situated in or attached to the block, which has been provided for your use.”
- 3) No Flammable liquids stored on site by Caretakers / cleaners.
- 4) All store cupboards are kept locked.
- 5) There are no flammable liquids or gas cylinders stored on site.
- 6) Residents have access to storage sheds located on the ground floor. The area is accessed via an FD30s nominal door and protected with hardwired smoke detection. All shed doors are secured with mortice locks.



**Section
19**

**Additional Control Measures;
Fire Risk Assessment - Level 2
Action Plan**

Significant Findings

Action Plan

It is considered that the following recommendations should be implemented to reduce fire risk to, or maintain it at, the following level:

Trivial Tolerable

Definition of priorities (where applicable):

P1 Arrange and complete as urgent – Within 10 days

P2 Arrange and complete within 1-3 Months of assessment date

P3 Arrange and complete within 3-6 Months of assessment date

P4 Arrange and complete exceeding 6 months under programmed work



Fire Risk Assessment Level 2 Action Plan



Name of Premises or Location:


Nelson House 1-34

Date of Action Plan:

23/11/23

Review Date:

<Insert date>

| Question/ Ref No | Required Action | Supporting photograph | Priority | Timescale and Person Responsible | Date Completed |
|---------------------|---|--|----------|---|-------------------|
| 6/6 | Flat 24 to remove netting from balcony |  | P2 | Within 1-3 months Housing Manager | |


Fire Risk Assessment

| | | | | | |
|-----|---|---|----|--------------------------------------|--|
| 6/7 | Flat 25 to remove netting from balcony |  | P2 | Within 1-3 months Housing Manager | |
| 6/8 | Flat 29 to remove netting from balcony |  | P2 | Within 1-3 months Housing Manager | |
| 6/9 | Flat 27 to remove bamboo screening from balcony |  | P2 | Within 1-3 months Housing Manager | |

Fire Risk Assessment

| | | | | | |
|-------|---|--|----|--|--|
| 7/29e | Flat 29 – secure loose door viewer to flat entrance door. |  | P2 | Within 1-3 months Rapid Response Fire Team | |
| 12/7 | Install escape signage with upwards arrow above door adjacent the welfare room. Remove previous signage. |  | P2 | Within 1-3 months Rapid Response Fire Team | |

Fire Risk Assessment

| | | | | | |
|------|--|--|----|--|--|
| 12/8 | Install 2 x escape signage to the storage room on dry riser side of the building as per the attached images. |  | P2 | Within 1-3 months Rapid Response Fire Team | |
|------|--|--|----|--|--|

When undertaking future improvement program(s), it is advised that the observations listed below should be given consideration (noting that the safety of the residents is not jeopardised by these, and all steps to reduce any known risks have been taken).

| | |
|---------------------|--|
| Observations | |
| N/A | |



Fire Risk Assessment

Signed

| | | |
|--------------|-------------------------|------------------|
| <i>Chill</i> | Fire Risk Assessor | Date: 23/11/2023 |
| <i>Maun</i> | Quality Assurance Check | Date: 24/11/2023 |



Significant Hazards on Site and Information to be Provided for the Fire Service


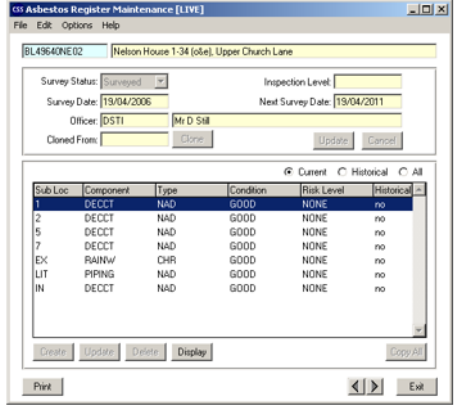

Name of property: Nelson House

Updated: 23/11/2023

Premise Manager: Tony Thompson

Tel. No.: 0121 569 2975

| Hazard | Information/Comments |
|----------|--|
| Asbestos | An asbestos survey has been undertaken of the communal areas. Survey held by Sandwell Housing (Derek Still Tel:- 0121 569 5077). <i>Include survey</i> |
| PEEPS | Flat 7 – indicated on plan within PIB (yellow sticker) |

| | | | | | | | | | | |
|--|-------------|---|--|--------------------------|-----------------|---|---|---|------------|--|
| Asbestos Survey | | Property Address | 1-34 NELSON HOUSE, UPPER CHURCH LANE, TIPTON DY4 9PW | | ✓ Office use | | | | | |
| Surveyed by | W Colbourne | Date | 26/02/2014 | | Checked by | Paul Arundel | Desktop Check | ✓ | Site Check | |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 10/06/16 | |  | | | |
| Investment Void | | Refurbishment Survey | ✓ | 9 STOREY HIGH RISE BLOCK | | | | | | |
| Investment Tenanted | | Management Survey | ✓ | | | | | | | |
| R & M Void | | SHAPE Interrogated. | ✓ | | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | | | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | ✓ | | | | | | | |
| Communal Areas | ✓ | Refurb Surveys Interrogated ? | | | | Year Built | | | | |
|  | | | | | | Notes / including details of similar property surveys completed. Reviewed & Revised - 02/06/16 Communal Areas including roof & store sheds have been resurveyed for the purposes of proposed new pitched roof & demolition of the store sheds within ground floor store areas. Revised By G.Carrington - 02/06/2016 Revised By G.Carrington - 01/02/2017 Revised By G.Carrington - 09/02/2017 Revised By G.Carrington - 23/06/2022 | | | | |
| Building Surveyors 0121 569 5077 | | | | | | Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES | | | | |
|  | | | | | | | | | | |

Fire Risk Assessment

| Sample Locations | | Property Address 1-34 NELSON HOUSE, UPPER CHURCH LANE, TIPTON DY4 9PW | | | | | | |
|--|--|--|-------------------|------------|----------------------|------------|-----------------------------------|--|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT | |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| SOFFIT TO LIFT HOUSE/MOTOR ROOM ON ROOF | CEMENT | | SEALED | DS-2437 | CHRYSOITILE | NO | REMOVED | |
| ROOF – FLUE TERMINALS X 9 | CEMENT | | UN-SEALED | PRESUMED | CHRYSOITILE | NO | | |
| COMMUNAL AREAS ALL FLOORS – WALLS/CEILING | TEXTURED COATING | - | PAINT SEALED | DS 6539 | NO ASBESTOS | NO | - | |
| COMMUNAL AREAS ALL FLOORS – FLOOR | THERMOPLASTIC | - | SEALED | PRESUMED | CHRYSOITILE | NO | REMOVED | |
| ELECTRIC METER CUPBOARD ALL FLOORS – GENERATOR PIPES | CEMENT | - | UN-SEALED | PRESUMED | CHRYSOITILE | NO | YES REMOVED | |
| DRY RISER CUPBOARD ALL FLOORS | NO ASBESTOS CONTAINING MATERIALS FOUND DURING SURVEY | | | | | | | |
| GROUND FLOOR CLEANERS CUPBOARD | NO ASBESTOS CONTAINING MATERIALS FOUND DURING SURVEY | | | | | | | |
| GROUND FLOOR STORAGE AREA X 2 – LARGE DIAMETER PIPE FLOOR TO CEILING | CEMENT | 2.5 lm | SEALED | PRESUMED | CHRYSOITILE | NO | - | |
| BIN ROOM | NO ASBESTOS CONTAINING MATERIALS FOUND DURING SURVEY | | | | | | | |
| MAIN ROOF SARKING OR FLAT ROOF MINERAL FELT | BITUMINOUS | - | - | - | - | - | REQUEST SAMPLE IF TO BE DISTURBED | |
| PANEL ABOVE WINDOW ON STAIRWELL | CEMENT | - | SEALED | GC1025 / 1 | NO ASBESTOS DETECTED | - | - | |
| EXTERNAL PANEL ABOVE 9 TH FLOOR STAIRWELL WINDOW | BOARD | 2 m ² | UNSEALED | GC1027 / 1 | NO ASBESTOS DETECTED | - | - | |
| | | | | | | | | |
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About the Report

All Survey Methodology is based upon HSE document HSG 264 - Asbestos: The Survey Guide. All surveyors are experienced British Occupational Hygiene Society (BOHS) P402 qualified surveyors with extensive Surveying & Refurbishment Project experience specific to Sandwell Homes' managed housing stock.

The person or persons using this report to programme refurbishment work on site are assumed to be competent & experienced in the field of domestic refurbishment projects & have suitable & sufficient asbestos awareness to understand the scope of this report & apply it to the project. All trade operatives working on site are also expected to have relevant asbestos awareness training & experience. IF IN DOUBT STOP & ASK!

SHAPE: Sandwell Homes' Integrated ICT solution holds the Company Asbestos Register. The Asbestos Register is interrogated when completing the asbestos survey report to ensure that ACM's in similar properties are considered where relevant. The Register holds details of all suspected or confirmed ACM's identified during Refurbishment & Demolition programmes as well as Repairs activities for the past 11 years. If potential ACM's have been identified within difficult to survey areas such as Cavity Walls, Floor Voids etc these will be highlighted within the report. The interrogation of the Company Asbestos Register compliments the survey & report process it does not substitute the Refurbishment & Demolition Survey.

Void Properties – The Building Surveying team who undertake Refurbishment & Demolition Asbestos Surveys also undertake Domestic Energy Assessment Surveys, **Borescope** Surveys for Thermal Insulation & Fire Integrity Assessments to a representative percentage of the void turn over.

Site Overview Page 2 – This section is included to aid surveying & to ensure comprehensive survey information is detailed.

| Term | Explanation |
|-------------------------------|--|
| Property Address | Specific Property to which survey relates. |
| Surveyed by | Relates to P402 trained surveyor. |
| Blank | Blank |
| Type of Work to be undertaken | Relates to the envisaged type of work that the Asbestos Survey Report will be used to aid. This assists the asbestos surveyor to guide his survey methodology & will help the users of this report decide if it is suitable for the work activity being undertaken. |
| ACM | Asbestos Containing Material. |
| HSE Notify | This highlights if a material normally requires notification to the Health & Safety Executive prior to removal. GUIDANCE ONLY. |
| Bulk Sample | Sample of potential ACM that is representative of the whole. |
| Request Sample | The item described has not been tested for Asbestos content. The item must be presumed to contain asbestos until sampling confirms. If work is going to be undertaken in this area sample should be requested prior to work starting. |
| Awaiting Results | If no results have been detailed then you must not work on these items until you receive further confirmation. |
| Extent | An estimate of quantity will be given where possible to aid work planning & valuation. |
| Labels | Materials will be labelled where practical. Labelling will not be undertaken to low risk materials e.g. floor tiles, Textured Coatings etc or where labelling could easily be removed or would cause potential exposure if removed. . All presumed ACM's will be labelled as "Asbestos" where possible. All sampled materials will be labelled with an "Asbestos Sampled" label. |

| Term | Explanation |
|---------------------------------------|--|
| Photo's | These will usually be provided for the front elevation of the property to aid identification. |
| Sampled by | P402 trained surveyor. |
| Checked by | P402 trained surveyor who checks report prior to issuing. |
| Survey Report Type | Report type is determined by the type of work to be undertaken. The reader of this report must satisfy themselves that the scope of the survey is sufficient for the purpose of work being undertaken. |
| Refurbishment Survey | HSG 264 – Refurbishment & Demolition Survey. Surveying undertaken to all parts of the property presuming full decent homes refurbishment, which may include, New Kitchen, New Bathroom, Electrical Rewire, Re-roof, Full Heating System. Taking account of the complete structure of the property & archetype information available. This survey has been carried out without detailed knowledge of the works to be undertaken during refurbishment. |
| Management Survey | A management survey is the standard survey. Its purpose is to locate, as far as reasonably practicable, the presence and extent of any suspect ACMs in the building which could be damaged or disturbed during normal occupancy, including foreseeable maintenance and installation, and to assess their condition. |
| Cavity Walls / Floor Voids or similar | Will be assessed at survey stage & desktop assessment of similar archetypes. |
| SP | Strong Presumption that material contains asbestos. Used to qualify possible false negative laboratory results. |
| Photo's | Where practical & to aid the identification of ambiguous material locations photos will be included within the report to ensure that materials are identified on-site correctly. Photos will be annotated where necessary. |