

Fire Risk Assessment

Stanhope Road

61-67, 85-99, 101-115, 117-131, 133-139, 141 -155, 157-163

Smethwick

B67 6HW.



Date Completed: 15th May 2024

Review Period: 3 years

Officer: A Smith Fire Risk Assessor

Checked By: J Blewitt Team Lead Fire Safety & Facilities

Current Risk Rating = Tolerable

Subsequent reviews

| <u>Review date</u> | <u>Officer</u> | <u>Comments</u> |
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Section

0

Introduction

The [Regulatory Reform \(Fire Safety\) Order 2005 \(RR\(FS\)O\)](#) places a legal duty on landlords to complete a fire risk assessment (FRA). Specifically, RR(FS)O article 9. — (1) *“The responsible person must make a suitable and sufficient assessment of the risks to which relevant persons are exposed for the purpose of identifying the general fire precautions he needs to take to comply with the requirements and prohibitions imposed on him by or under this Order”*.

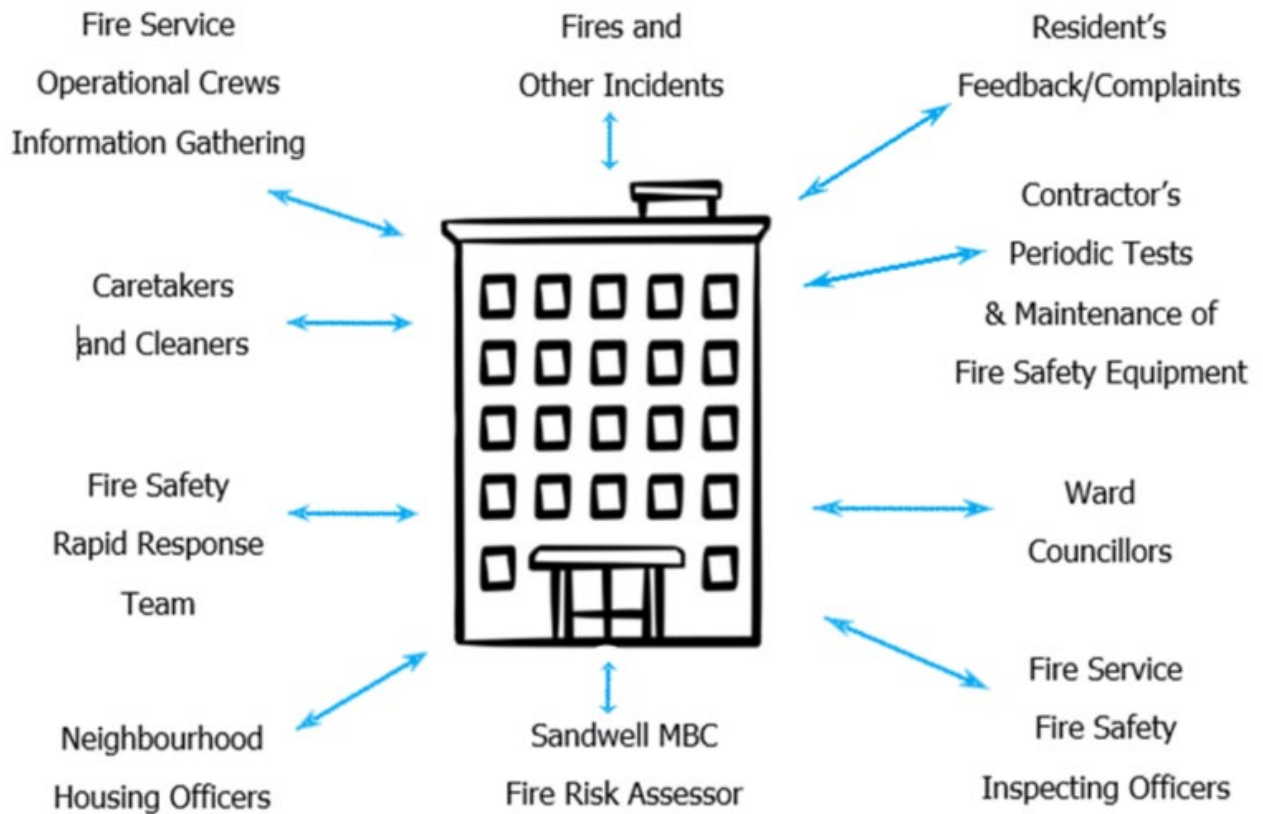
This fire risk assessment has been written to comply fully with the above legislation which is enforced locally by West Midlands Fire Service. If required, complaints can be made to them by telephone on 0121 380 7500 or electronically on <https://www.wmfs.net/our-services/fire-safety/#reportfiresafety>. In the first instance however, we would be grateful if you could contact us directly via [https://www.sandwell.gov.uk/info/200195/contact_the_council/283/feedb ack and complaints](https://www.sandwell.gov.uk/info/200195/contact_the_council/283/feedback_and_complaints) or by phone on 0121 569 6000.

The date of the fire risk assessment is on the front page, followed by any subsequent reviews. A recurring time frame is not set in legislation, but the Council will as a minimum review:

- High Risk Residential Buildings annually
- Other Buildings every 3 years

The council has procedures and policies in place that will trigger a review of the fire risk assessment. This then is recorded on the fire risk assessment. If the review suggests the fire risk assessment is not currently suitable and sufficient, then a new fire risk assessment will be undertaken and become the current fire risk assessment. The previous fire risk assessment will be retained in the building safety case for that building.

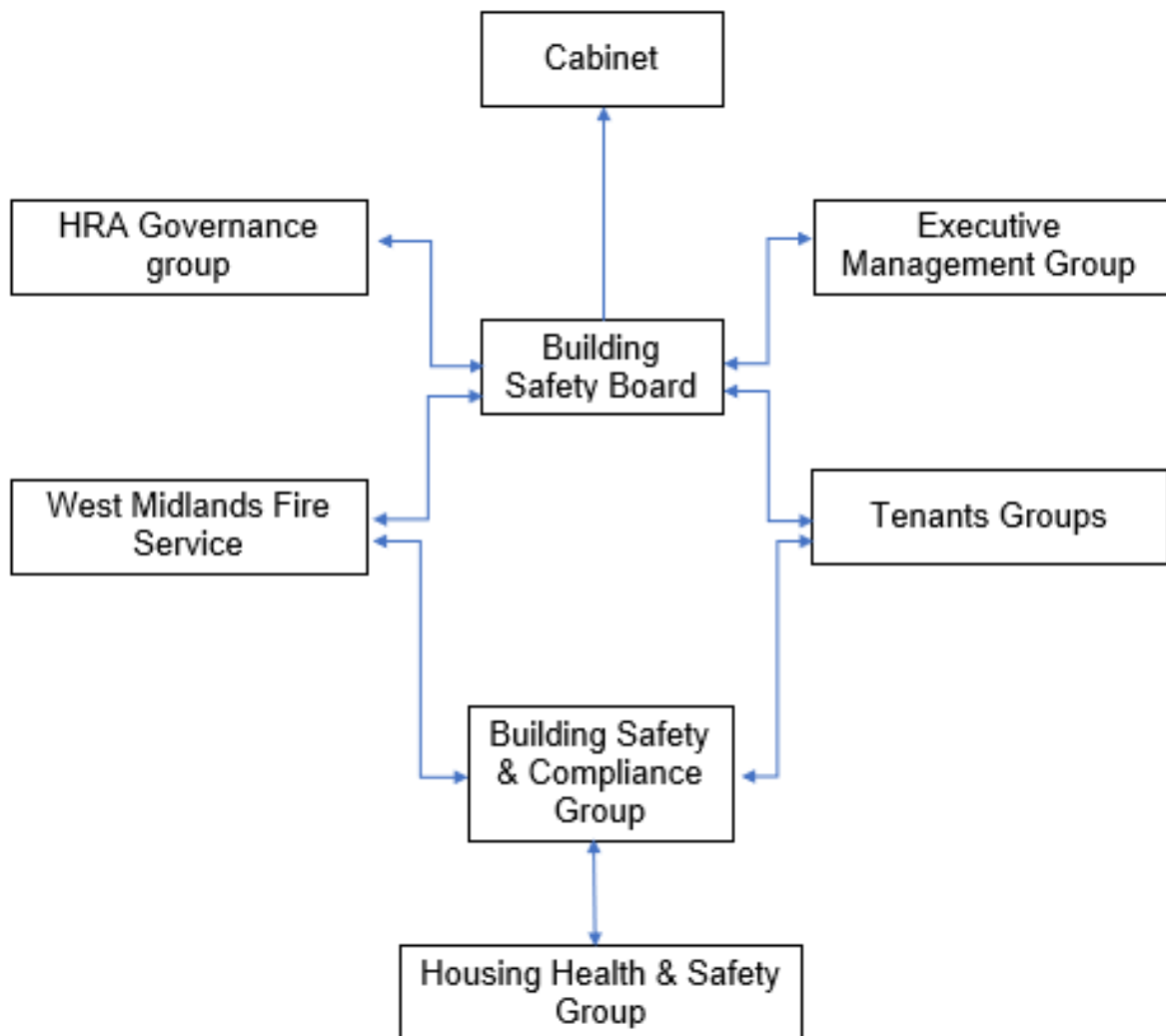
The following diagrams illustrate those procedures and persons that support the effective planning, organisation, control, monitoring and review of the preventive and protective measures. This information is provided as required under the RR(FS)O.



The above processes and procedures are overseen by the Fire Safety, Manager who reports to the Head of Building Safety

These managers attend the Building Safety and Compliance Group for scrutiny which is part of the governance structure below.

Governance Structure



To summarise the fire risk assessment, in this scenario the RR(FS)O requires the prescribed information to be recorded. The prescribed information is the significant findings of the fire risk assessment and those groups or persons especially at risk from fire. This is recorded here in [section 1](#). Also required to be recorded under article 11, are the fire safety arrangements for the planning, organisation, control, monitoring and review of the preventative and protective measures. The information shown above is part of this requirement.

Section

1

Significant findings

The significant findings (executive summary) of the fire risk assessment include those measures that have been or will be undertaken by the responsible person in order to comply with the RR(FS)O 2005. Groups of people especially at risk of fire include such people as remote or lone workers, at risk due to layout of the building, visitors and contractors unfamiliar with the building layout as well as those with physical, sensory or mental health issues. A third requirement that under the order must be recorded is the fire safety arrangements. This is the effective planning, organisation, control, monitoring and review of the preventive and protective measures. These are shown in the introduction.

Significant findings

Include a brief summary of protective and preventative measures where relevant along with any issues found;

The escape strategy is '**Stay Put Unless**'. This means in the event of a fire in your flat you should evacuate. If there is a fire elsewhere in the building you should stay put unless you are affected by fire, smoke or you have been advised by the emergency services to leave.

| Section number | Section Area | Individual Risk Level |
|---------------------------|--|------------------------------|
| Section 6 | <p>External Envelope</p> <p>Each façade of the building comprises of traditional brick masonry.</p> <p>Individual flat windows are UPVC units.</p> <p>Timber cladding to staircase.</p> | Trivial |
| Section 7 | <p>Means of Escape from Fire</p> <p>The block has one staircase.</p> <p>Flat entrance doors are nominal 30-minute fire doors.</p> | Trivial |

| | | |
|-----------------------------------|--|------------------|
| <p>Section 8</p> | <p>Fire Detection and Alarm Systems</p> <p>Flats have a fire detection system fitted to an LD2 standard.</p> | <p>Trivial</p> |
| <p>Section 9</p> | <p>Emergency Lighting</p> <p>Emergency lighting is located within escape stair and landing.</p> | <p>Trivial</p> |
| <p>Section 10</p> | <p>Compartmentation</p> <p>The blocks have sufficient compartmentation between dwellings.</p> <p>Individual flat entrance doors are predominately Permadoor FD30s fire doors.</p> <p>Fire stopping required to roof void.</p> | <p>Tolerable</p> |
| <p>Section 11</p> | <p>Fire Fighting Equipment</p> <p>The premises have no provision for firefighting equipment.</p> | <p>Trivial</p> |
| <p>Section 12</p> | <p>Fire Signage</p> <p>Due to simplicity of layout no requirement for fire signage.</p> | <p>Trivial</p> |
| <p>Section 13</p> | <p>Employee Training</p> <p>All staff receive basic fire safety awareness training.</p> | <p>Trivial</p> |
| <p>Section 14</p> | <p>Sources of Ignition</p> <p>The last test date for the fixed electrical installation could not be established at the time of the fire risk assessment.</p> | <p>Tolerable</p> |

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| Section 15 | Waste Control Refuse containers are emptied regularly. There is a regular cleaning service to the premises. | Trivial |
| Section 16 | Control and Supervision of Contractors and Visitors Contractors are controlled centrally, and hot works permits are required where necessary. | Trivial |
| Section 17 | Arson Prevention External lighting is in place. Regular checks by cleaning staff. | Trivial |
| Section 18 | Storage Arrangements Residents instructed not to bring L.P.G cylinders into block. | Trivial |

Risk Level Indicator

The following simple risk level estimator is based on commonly used risk level estimator:

| Likelihood of fire | Potential consequences of fire | | |
|--------------------|--------------------------------|------------------|------------------|
| | Slight harm | Moderate harm | Extreme harm |
| Low | Trivial risk | Tolerable risk | Moderate risk |
| Medium | Tolerable risk | Moderate risk | Substantial risk |
| High | Moderate risk | Substantial risk | Intolerable risk |

Considering the fire prevention measures observed at the time of this risk assessment, it is considered that the hazard from fire (likelihood of fire) at these premises is:

Low Medium High

In this context, a definition of the above terms is as follows:

Low Unusually low likelihood of fire because of negligible potential sources of ignition.

Medium Normal fire hazards (e.g., potential ignition sources) for this type of occupancy, with fire hazards generally subject to appropriate controls (other than minor shortcomings).

High Lack of adequate controls applied to one or more significant fire hazards, such as to result in significant increase in likelihood of fire.

Considering the nature of the premises and the occupants, as well as the fire protection and procedural arrangements observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

Slight Harm Moderate Harm Extreme Harm

In this context, a definition of the above terms is as follows:

| | |
|----------------------|--|
| Slight harm | Outbreak of fire unlikely to result in serious injury or death of any occupant (other than an occupant sleeping in a room in which a fire occurs). |
| Moderate harm | Outbreak of fire could foreseeably result in injury including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities. |
| Extreme harm | Significant potential for serious injury or death of one or more occupants. |

Accordingly, it is considered that the risk to life from fire at these premises is:

Trivial Tolerable Moderate Substantial Intolerable

Comments

In conclusion, the likelihood of fire is at a medium level of risk prior to the implementation of the action plan because of the presence of normal fire hazards for this type of occupancy which have all been highlighted within the fire risk assessment.

After considering the use of the premise and the occupants the consequences for life safety in the event of a fire would be slight harm.

This is due to there being a Stay Put Unless policy and sufficient compartmentation to include predominately nominal Permadoor FD30s doors to flat entrances combined with suitable smoke detection to LD2 standard within flats.

Overall, the level of risk at the time of this FRA is Tolerable.

A suitable risk-based control plan should involve effort and urgency that is proportional to risk. The following risk-based control plan is based on one that has been advocated for general health and safety risks:

| Risk level | Action and timescale |
|--------------------|--|
| Trivial | No action is required, and no detailed records need to be kept. |
| Tolerable | No major additional fire precautions required. However, there might be a need for reasonably practicable improvements that involve minor or limited cost. |
| Moderate | It is essential that efforts are made to reduce the risk. Risk reduction measures, which should take cost into account, should be implemented within a defined time period. Where moderate risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures. |
| Substantial | Considerable resources might have to be allocated to reduce the risk. If the premises are unoccupied, it should not be occupied until the risk has been reduced. If the premises are occupied, urgent action should be taken. |
| Intolerable | Premises (or relevant area) should not be occupied until the risk is reduced. |

(Note that, although the purpose of this section is to place the fire risk in context, the above approach to fire risk assessment is subjective and for guidance only. All hazards and deficiencies identified in this report should be addressed by implementing all recommendations contained in the following action plan. The fire risk assessment should be reviewed regularly.)

Section

2

People at Significant Risk of Fire

Persons at significant risk of fire does not just refer to those people with physical, sensory or mental health issues. It also includes those at risk due to the layout or features of the building such as inner rooms or dead-end conditions. Persons may also be at risk due to remote or lone working.

The RR(FS)O requires that these people are identified in any fire risk assessment.

Sandwell Council takes the health, safety and wellbeing of its colleagues, contractors, residents and leaseholders seriously. It is our policy to exceed, where possible, the minimum health and safety requirements of the law.

Residents are responsible for letting us know whether they might need a Personal Emergency Evacuation Plan (PEEP). The Resident Engagement Officers (Fire Safety) will conduct an assessment visit upon request. Any risk-reduction measures that are found where a PEEP is necessary and completed will be documented and taken quickly. With the consent of the resident, we will make a referral for West Midlands Fire Service to conduct a Safe and Well visit.

When a PEEP is in place, the relevant information will be kept in the secure Premise Information Box (High Rise Buildings only), which is set up to help WMFS in an emergency. The data is classified as level 1, which means it complies with the General Data Protection Regulations.

Section

3

Contact Details

The Chief Executive of Sandwell Metropolitan Borough Council has ultimate responsibility for the site as the responsible person identified by the RR(FS)O 2005.

The Chief Executive has put a structure in place to support the management of the site.

This includes the role of Building Safety Manager who has duties as defined within the Regulatory Reform (Fire Safety) Order 2005.

The contact names to support the management of the site are as follows:

Chief Executive

Shokat Lal

Executive Director of Place

Alan Lunt

Assistant Director Building Compliance

Phil Deery

Fire Safety Manager

Tony Thompson

Team Lead Fire Safety

Jason Blewitt

Fire Risk Assessor(s)

Carl Hill

Louis Conway

Anthony Smith

Adrian Jones

Resident Engagement Officer - Fire Safety

Lee Mlilo

Abdul Monim Khan

Housing Office Manager

Susan Geddes

Please note, the above details are correct at the time of the production of the risk assessment and may be subject to change

Section 4

Description of Premises

61-67, 85-99, 101-115, 117-131, 133-139, 141-155, 157-163
Stanhope Road
Smethwick
B67 6HW

Description of the Property

The development of 7 blocks contains 44 flats in total. The blocks are 2 storeys (includes ground floor) and are of traditional brick construction.

There is a single staircase for each block of 4 flats that is open at the ground and first floor.

The block has one main open entrance to the front elevation.



The property has a pitched tiled roof.

The communal, any workplace areas and the external envelope of the building are subject to the Regulatory Reform (Fire Safety) Order 2005 as confirmed by the Fire Safety Act 2021.

The enforcing authority is West Midlands Fire Service.

| | |
|--|----------------------|
| High/Low Rise | Low Rise |
| Number of Floors | 2 |
| Date of Construction | 1936 |
| Construction Type | Traditional brick |
| Last Refurbished | Unknown |
| External Cladding | None |
| Number of Lifts | None |
| Number of Staircases | One per 4 flats |
| Automatic Smoke Ventilation to communal area | No |
| Fire Alarm System | No |
| Refuse Chute | No |
| Access to Roof | Communal loft hatch. |
| Equipment on roof (e.g., mobile phone station etc) | No |

Persons at Risk

Residents / Occupants of 44 Flats.

Visitors,

Sandwell MBC employees,

Contractors,

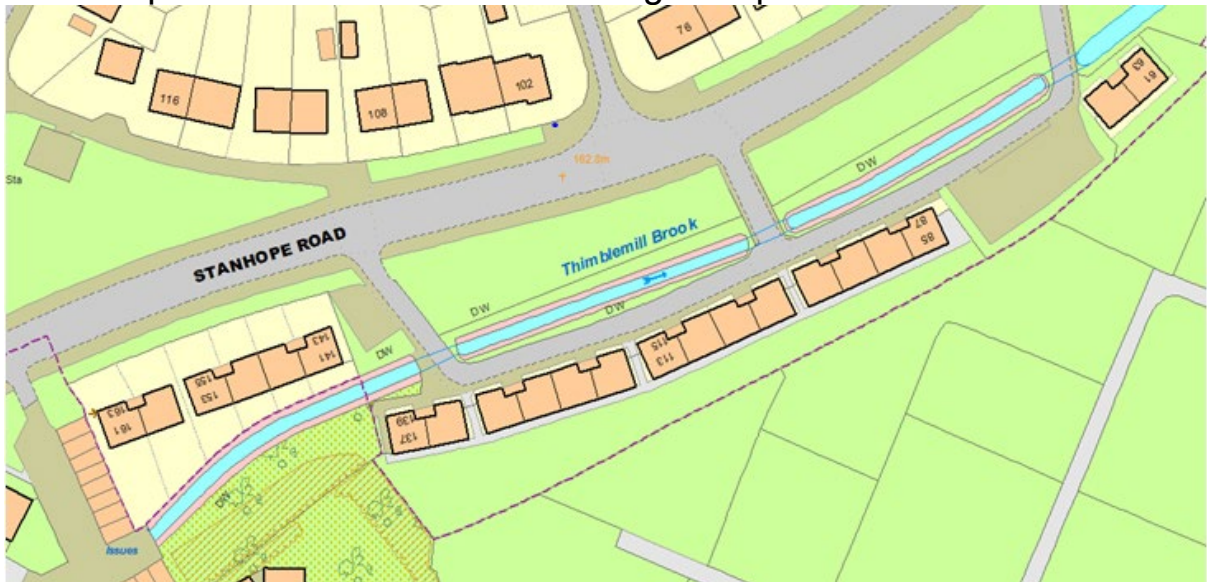
Service providers (e.g., meter readers, delivery people etc)

Statutory bodies (e.g., W.M.F.S, Police, and Ambulance)

**Section
5**

Building Plan

General plan which outlines the buildings footprint.



Section

6

External envelope

Following the introduction of the Fire Safety Act 2021, consideration needs to be given to the external envelope of the building for any fire risk. This predominantly means the external wall construction including any insulation filler. It also includes balconies and any other fixtures as well as doors and windows.

Below is a breakdown of the materials used within the external envelope and, as part of the external wall system.

It is deemed that the combination and application of these materials presents an acceptable level of fire risk.

- 1) The exterior of the building is predominantly traditional brick construction.



- 2) The staircase is open at ground and first floor (naturally ventilated). The staircase has no windows. The staircase has timber cladding at ground and first floor. This should be considered for replacement with a non-combustible board during the next planned programmed works.



- 3) Front entrance doors are predominately nominal FD 30s self-closing Permadoor.



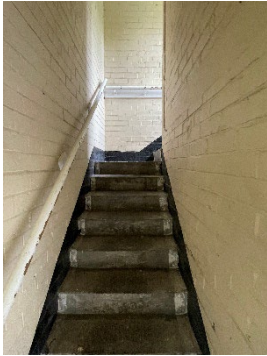
- 4) The block has a pitched tiled roof.



**Section
7**

Means of Escape from Fire

- 1) The block has one staircase that provides a means of escape.



- 2) The means of escape are protected to prevent the spread of fire and smoke with predominately nominal Permadoor FD30s doors. Internal access to flat 117 was gained during the fire risk assessment.



- 3) Automatic smoke ventilation is not employed. This is acceptable as the staircase has permanent ventilation at ground and first floor.



- 4) Communal areas are kept free of flammable items. The communal areas are checked on a regular basis by Janitorial/ Cleaning teams. There is also an out of hours service that allows combustible items of furniture / rubbish to be removed.



Good housekeeping is fundamental to reducing risk in blocks of flats. Controlling the presence of combustible materials and ignition sources not only reduces the potential for accidental fires to start and develop in the common parts, it also significantly reduces the scope for deliberate fires. It also ensures escape routes are free of obstructions that might hinder the evacuation of people from the building and access for fire-fighters.

- 5) Emergency lighting is provided to the stairs and landings.



- 6) The building has sufficient passive controls that provide effective compartmentation in order to support a Stay Put-Unless Policy. Therefore, residents are advised to remain in their flat unless the fire directly affects them or if they are advised to evacuate by the emergency services.

Section 8

Fire Detection and Alarm Systems

- 1) Early warning is limited to hard wire or battery smoke alarms within each of the resident's flats. The equipment is subjected to a cyclical test.
- 2) Internal access to Flat 117 (Ground Floor) was gained during this fire risk assessment. Heat detector noted in kitchen. Smoke detection noted in living room and bedroom. A carbon monoxide detector was noted in the hallway. Considered reasonable to classify as an L2 system. Resident complained that smoke detector in bedroom was very sensitive, this has been relayed to electrical engineers (By email).



For information

LD1 all rooms except wet rooms

LD2 all-risk rooms e.g., Living Room, Kitchens and Hallway.

LD3 Hallway only

- 3) There is no effective means for detecting an outbreak of fire to communal areas in the remaining blocks. The reason for this is:
 - I. Such systems may get vandalised.
 - II. False alarms would occur.
 - III. A Stay Put - Unless policy is in place.
-

Section

9

Emergency Lighting

- 1) The premises has sufficient emergency / escape lighting system in accordance with BS 5266 and has test points strategically located.



- 2) The self-contained units are provided to the stair and landing.

- 3) All installed equipment is checked and tested on a monthly basis by Sandwell MBC in house electrical team or approved contractor, in accordance with current standards.



Section 10

Compartmentation

This section should be read in conjunction with Section 4

- 1) The building is designed to provide as a minimum 60-minute vertical fire resistance and 60-minute horizontal fire resistance. It is acceptable to have 30-minute flat entrance fire door in a 60-minute wall.
 - 2) The premises do not have sufficient compartmentation to limit the travel and effect of smoke and flame in event of a fire in communal areas due to the open plan staircase.
 - 3) A variety of methods / materials have been used to achieve fire-stopping including Rockwool, fire rated sponge and intumescent pillows.
 - 4) The fire stopping / compartmentation is subject to an annual check by the Fire Safety Rapid Response Team.
 - 5) Any remedial works arising from the fire stopping / compartmentation check(s) will be actioned immediately by the Fire Safety Rapid Response Team.
 - 6) The building has sufficient passive controls that provide effective compartmentation to support a Stay Put -Unless policy. Therefore, residents are advised to remain in their flat unless the fire directly affects them or if they are advised to evacuate by the emergency services.
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Fire Risk Assessment

Block 61- 67

| Floor No | Fire Stopping Materials | | | | | | Fire Stopping Materials | | | | | | Fire Stopping Materials | | | | | | Fire Stopping Materials | | | | | | Fire Stopping Materials | | | | | | Floor No | | | | | | | | |
|--|-------------------------|-----------|-------------|-------------------------------|-----------------|-----------|-------------------------|----------------------------|----------|---|-----------|------------------------------------|-------------------------|-----------------|-----------|--|------------|----------|-------------------------|---|-------------|-----------------|-----------------|-----------|-------------------------|------------|----------|---------|-----------|-------------|----------|-----------------|-----------------|-----------|--------------|------------|----------|--|----|
| | Supalic | Intu Duct | Intu Spange | Intu AMI Handle | Creighton Plate | Intu Pads | Intu Pillows | Intu Wreps | Reckward | Supalic | Intu Duct | Intu Spange | Intu AMI Handle | Creighton Plate | Intu Pads | Intu Pillows | Intu Wreps | Reckward | Supalic | Intu Duct | Intu Spange | Intu AMI Handle | Creighton Plate | Intu Pads | Intu Pillows | Intu Wreps | Reckward | Supalic | Intu Duct | Intu Spange | | Intu AMI Handle | Creighton Plate | Intu Pads | Intu Pillows | Intu Wreps | Reckward | | |
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| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 |
| Common areas free from debris | | ✓ | | Common areas free from debris | | ✓ | | Flt doors free from debris | | ✓ | | Common cupboards locked and secure | | ✓ | | Common areas free from insula stored items | | ✓ | | Common areas free from repair materials | | ✓ | | | | | | | | | | | | | | | | | |
| Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present But Not Removed This Visit | | | | | | | | | | No areas to enhance | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Partially Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | | | | | |
| No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | | | | | |
| Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Fire Risk Assessment

Block 85-99

| Floor No. | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Floor No. | | | | | | | | | | | | | | |
|--|-------------------------|----------|------------|---------------|-----------------|------------------------------------|-------------|-----------|----------|---|-------------------------|------------------------------|---------------|-----------------|----------|-------------------------|-----------|--------------------------------------|---------|----------|-----------|------------|---------------|--|----------|-------------|-----------|----------|---|---|--|--|--|--|---|
| | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Stuplux | Inu Batt | | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | | | | | | | |
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| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 | | | | | | | |
| Communal doors free from defects | | | | | ✓ | Communal windows free from defects | | | | | ✓ | Flat doors free from defects | | | | | ✓ | Communal cupboards locked and secure | | | | | ✓ | Communal areas free from combustible items | | | | | ✓ | Communal areas free from repair materials | | | | | ✓ |
| Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present But Not Removed This Visit | | | | | | | | | | No areas to enhance | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Partially Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Fire Risk Assessment

Block 101- 115

| Floor No. | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Floor No. | | | | | | | | | | | | | | |
|--|-------------------------|----------|------------|---------------|-----------------|------------------------------------|-------------|-----------|----------|---|-------------------------|------------------------------|---------------|-----------------|----------|-------------------------|-----------|--------------------------------------|---------|----------|-----------|------------|---------------|--|----------|-------------|-----------|----------|---|---|--|--|--|--|---|
| | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Stuplux | Inu Batt | | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | | | | | | | |
| B | | | | | | | | | | | | | | | | | | | | | | | | | | | | B | | | | | | | |
| G | | | | | | | | | | | | | | | | | | | | | | | | | | | | G | | | | | | | |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 1 | | | | | | | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 2 | | | | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 3 | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 4 | | | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 5 | | | | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 6 | | | | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 7 | | | | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 8 | | | | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 9 | | | | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 10 | | | | | | | |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 11 | | | | | | | |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 12 | | | | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 13 | | | | | | | |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 14 | | | | | | | |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 15 | | | | | | | |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 | | | | | | | |
| Communal doors free from defects | | | | | ✓ | Communal windows free from defects | | | | | ✓ | Flat doors free from defects | | | | | ✓ | Communal cupboards locked and secure | | | | | ✓ | Communal areas free from combustible items | | | | | ✓ | Communal areas free from repair materials | | | | | ✓ |
| Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present But Not Removed This Visit | | | | | | | | | | No areas to enhance | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Partially Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Fire Risk Assessment

Block 117-131

| Floor No | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Floor No | | | | | | | | | |
|--|-------------------------|----------|------------|---------------|-----------------|------------------------------------|-------------|-----------|----------|---|-------------------------|------------------------------|---------------|-----------------|----------|-------------------------|-----------|---|---------|----------|-------------------------|---------------|-----------------|--|-------------|----------|-----------|----------|---|---|----|--|--|--|---|
| | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | | Inu Wraps | Rockwool | | | | | | | |
| B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | B | | | | |
| G | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | G | | | | |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 1 | | | | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 2 | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 3 | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 4 | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 5 | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 6 | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 7 | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 8 | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 9 | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 10 | | | | |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 11 | | | | |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 12 | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 13 | | | | |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 14 | | | | |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 15 | | | | |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 | | | | |
| Communal doors free from defects | | | | | ✓ | Communal windows free from defects | | | | | ✓ | Flat doors free from defects | | | | | ✓ | Communal cupboards & lockers and secure | | | | | ✓ | Communal areas free from tenant stored items | | | | | ✓ | Communal areas free from repair materials | | | | | ✓ |
| Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present But Not Removed This Visit | | | | | | | | | | No areas to enhance | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Partially Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Location
Choose from dropdown

Fire Risk Assessment

Block 133-139

| Floor No | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Floor No | | | | | | | | | |
|--|-------------------------|----------|------------|---------------|-----------------|------------------------------------|-------------|-----------|----------|---|-------------------------|------------------------------|---------------|-----------------|----------|-------------------------|-----------|---|---------|----------|-------------------------|---------------|-----------------|--|-------------|----------|-----------|----------|---|---|----|--|--|--|---|
| | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwool | Supalux | Inu Batt | Inu Sponge | Inu AM Mastic | Graphite Filler | Inu Pads | Inu Pillows | | Inu Wraps | Rockwool | | | | | | | |
| B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | B | | | | |
| G | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | G | | | | |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 1 | | | | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 2 | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 3 | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 4 | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 5 | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 6 | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 7 | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 8 | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 9 | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 10 | | | | |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 11 | | | | |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 12 | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 13 | | | | |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 14 | | | | |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 15 | | | | |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 | | | | |
| Communal doors free from defects | | | | | ✓ | Communal windows free from defects | | | | | ✓ | Flat doors free from defects | | | | | ✓ | Communal cupboards & lockers and secure | | | | | ✓ | Communal areas free from tenant stored items | | | | | ✓ | Communal areas free from repair materials | | | | | ✓ |
| Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present But Not Removed This Visit | | | | | | | | | | No areas to enhance | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Partially Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | ✓ | | | | | | | |
| Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Location
Choose from dropdown

Fire Risk Assessment

Block 141-155

| Floor No | Fire Stopping Materials | | | | | | | | | | | | | | | Location Choose from dropdown | Fire No | | | | | | | | | | | | | |
|----------|-------------------------|----------|------------|---------------|---------------|----------|-------------|-----------|----------|----------|----------|------------|---------------|---------------|----------|----------------------------------|---------|-------------|-----------|----------|----------|----------|------------|---------------|---------------|----------|-------------|-----------|----------|--|
| | Supellux | Inu Batt | Inu Sponge | Inu AM Mastic | Onepho Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwood | Supellux | Inu Batt | Inu Sponge | Inu AM Mastic | Onepho Filler | Inu Pads | | | Inu Pillows | Inu Wraps | Rockwood | Supellux | Inu Batt | Inu Sponge | Inu AM Mastic | Onepho Filler | Inu Pads | Inu Pillows | Inu Wraps | Rockwood | |
| B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| G | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| | | | | | | | | | | | |
|---------------------------------|-------------------------------------|---------------------------------------|-------------------------------------|-----------------------------|-------------------------------------|-------------------------------------|-------------------------------------|---|-------------------------------------|--|-------------------------------------|
| Commonal door free from defects | <input checked="" type="checkbox"/> | Commonal stair door free from defects | <input checked="" type="checkbox"/> | Flat door free from defects | <input checked="" type="checkbox"/> | Commonal cupboard locked and secure | <input checked="" type="checkbox"/> | Commonal area free from combustible items | <input checked="" type="checkbox"/> | Commonal area free from reactive materials | <input checked="" type="checkbox"/> |
|---------------------------------|-------------------------------------|---------------------------------------|-------------------------------------|-----------------------------|-------------------------------------|-------------------------------------|-------------------------------------|---|-------------------------------------|--|-------------------------------------|

| | |
|--|---|
| Foam Removal & Enhancement Record | Foam, Enhancements & Other Comments: |
| Foam Present But Not Removed This Visit | No areas to enhance |
| Foam Present & Partially Removed This Visit | |
| Foam Present & Fully Removed This Visit | |
| No Foam Present | |
| No Enhancement Carried Out This Visit | |
| Enhancement Carried Out This Visit | |

Fire Risk Assessment

Block 157-163

| | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | Fire Stopping Materials | | | | | | | | | | | | | | | | | | |
|-----------|--|--|----------|------------|---------------|----------------|------------------------------------|-------------|-----------|----------|---------|---|------------|---------------|----------------|----------|--------------------------------------|-----------|----------|---------|----------|-----------------------------|---------------|----------------|----------|-------------|---|----------|---------|----------|------------|---------------|----------------|----------|-------------|-----------|----------|-----------|---|----|
| Floor No. | | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Gepthie Filler | Inu Pass | Inu Pillows | Inu Wrepa | Rockwood | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Gepthie Filler | Inu Pass | Inu Pillows | Inu Wrepa | Rockwood | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Gepthie Filler | Inu Pass | Inu Pillows | Inu Wrepa | Rockwood | Stuplux | Inu Batt | Inu Sponge | Inu AM Mastic | Gepthie Filler | Inu Pass | Inu Pillows | Inu Wrepa | Rockwood | Floor No. | | |
| B | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | B | |
| G | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | G |
| 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 1 | |
| 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 2 |
| 3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 3 |
| 4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 4 |
| 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 5 |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 6 |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 7 |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 8 |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 9 |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 10 |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 11 |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 12 |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 13 |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 14 |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 15 |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | 16 |
| | | Commonal doors free from defects | | | | | Commonal windows free from defects | | | | | Flat doors free from defects | | | | | Commonal cupboards locked and secure | | | | | Commonal air handling units | | | | | Commonal areas free from spalling materials | | | | | | | | | | | | | |
| | | ✓ | | | | | ✓ | | | | | ✓ | | | | | ✓ | | | | | ✓ | | | | | ✓ | | | | | | | | | | | | | |
| | | Foam Removal & Enhancement Record | | | | | | | | | | Foam, Enhancements & Other Comments: | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Foam Present But Not Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Foam Present & Partailly Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Foam Present & Fully Removed This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | No Foam Present | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | No Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Enhancement Carried Out This Visit | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Result

Choose

7) Individual flat entrance doors are predominantly nominal Permadoor FD30s rated fire doors.

Refer to updated door spreadsheet below.

| | | | | | |
|---------------------------|-------------|--------------|---|---------------------|--------|
| Stanhope Road 61-67 (O) | BL45960ST29 | BL45960ST29 | 61-67 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 61-67 (O) | BL45960ST29 | DW4596000077 | 61 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 61-67 (O) | BL45960ST29 | DW4596000079 | 63 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 61-67 (O) | BL45960ST29 | DW4596000081 | 65 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 61-67 (O) | BL45960ST29 | DW4596000082 | 67 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | BL45960ST30 | 85-99 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000098 | 85 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000100 | 87 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000102 | 89 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000104 | 91 Stanhope Road;Smethwick;West Midlands;; | Nationwide | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000106 | 93 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000108 | 95 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000110 | 97 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 85-99 (O) | BL45960ST30 | DW4596000112 | 99 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | BL45960ST23 | 101-115 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000114 | 101 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000115 | 103 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000116 | 105 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000118 | 107 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000120 | 109 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000122 | 111 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000124 | 113 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 101-115 (O) | BL45960ST23 | DW4596000125 | 115 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | BL45960ST24 | 117-131 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000126 | 117 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000128 | 119 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000130 | 121 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000132 | 123 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000134 | 125 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000136 | 127 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000138 | 129 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 117-131 (O) | BL45960ST24 | DW4596000140 | 131 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 133-139 (O) | BL45960ST25 | BL45960ST25 | 133-139 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 133-139 (O) | BL45960ST25 | DW4596000142 | 133 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 133-139 (O) | BL45960ST25 | DW4596000143 | 135 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 133-139 (O) | BL45960ST25 | DW4596000145 | 137 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 133-139 (O) | BL45960ST25 | DW4596000147 | 139 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | BL45960ST26 | 141-155 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000149 | 141 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000151 | 143 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000153 | 145 Stanhope Road;Smethwick;West Midlands;; | Nationwide | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000155 | 147 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000157 | 149 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000159 | 151 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000161 | 153 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 141-155 (O) | BL45960ST26 | DW4596000163 | 155 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 157-163 (O) | BL45960ST27 | BL45960ST27 | 157-163 Stanhope Road;Smethwick;West Midlands;; | Intentionally Blank | |
| Stanhope Road 157-163 (O) | BL45960ST27 | DW4596000165 | 157 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 157-163 (O) | BL45960ST27 | DW4596000166 | 159 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 157-163 (O) | BL45960ST27 | DW4596000168 | 161 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |
| Stanhope Road 157-163 (O) | BL45960ST27 | DW4596000169 | 163 Stanhope Road;Smethwick;West Midlands;; | Permadoor | Glazed |



- 8) The main roof is accessed via a roof hatch on the communal landing. Roof access was gained (head and shoulders inspection) by flat 121. Padlock keys were not available however this hatch had accessible screws which were removed to allow the roof inspection. **It was noted that the brickwork between flat and roof space is incomplete and therefore should be fire stopped.** It was also noted that the walls within the roof space do not line up with the flat entrance walls below (the roof walls are approx. one metre further back and it is thought they “line up” with the internal hallway wall.) This should be addressed during the next phase of programmed works.



- 9) Resident store doors. Two number (one per floor) are located within the staircase. No access was available to the stores to confirm fire resistance of doors or construction.



Section

11

Fire Fighting Equipment

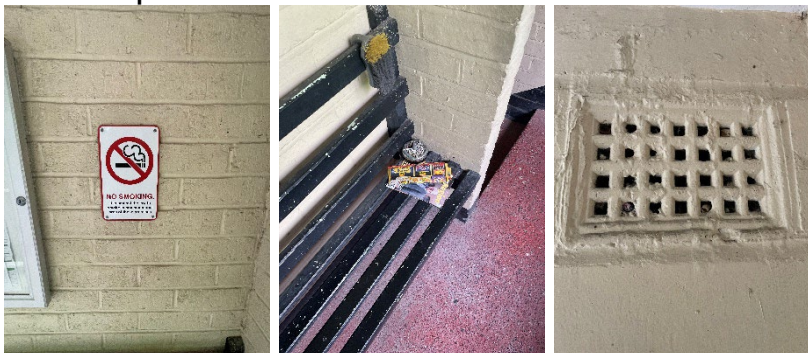
- 1) The premise has no provision for firefighting equipment.

Section

12

Fire Signage

- 1) Fire Action Notices are not displayed throughout the building. The signs are not necessary due to the building not having a complex layout.
- 2) Smoking is prohibited within any communal parts of the building in line with Smoke Free England Legislation. An ash tray was noted outside of flat 105 (located on the landing bench). Also, cigarette ends noted in various air bricks. Email sent to housing manager requesting that residents are reminded that smoking in communal areas is prohibited.



- 3) Yellow LPG warning signs are not displayed.
-

**Section
13**

**Employee & Resident
Training/Provision of Information**

- 1) All Caretaking / Cleaning Employees have undertaken fire safety training. This includes use of bespoke 'Fire Safety in High / Low Rise Flatted Accommodation' Video.
- 2) All employees are encouraged to complete 'In the line of fire' training on an annual basis.
- 3) Caretaking Teams are not currently trained in the effective use of fire extinguishers. Caretaking Teams are not expected to tackle fires in this area.
- 4) Staff undertaking fire risk assessments are qualified to or working towards Level 4 Diploma in Fire Safety.
- 5) Fire safety information has been provided as part of tenancy pack.
- 6) Information regarding use of fire doors is provided to residents.



- 7) Information regarding the Stay Put unless fire evacuation strategy is provided to residents.



Section

14

Sources of Ignition

- 1) Smoking is prohibited within any communal parts of the building in line with Smoke Free England legislation.
- 2) Hot working is not normally carried out. If essential maintenance requires the use of hot work processes, then corporate policies and procedures are to be followed.
- 3) Portable electrical equipment used as part of the Caretaking / Cleaning regime is subject to annual PAT Testing. This information is held by the Estate Services Manager Bryan Low.
- 4) **The fixed electrical installation shall be tested every 5 years. During the Fire Risk Assessment, it was not possible to ascertain when the last test was conducted.**
- 5) Portable heaters are not allowed in any common parts of the premises.
- 6) Gas appliances and pipework (where installed) are subject to annual testing and certification. This cyclical contract is managed by the in-house Gas Team. Gas supply is internal.



**Section
15**

Waste Control

- 1) There is a regular cleaning service to the premises.
- 2) Regular checks by Caretakers minimise risk of waste accumulation.



- 3) There is an 'Out of Hours' service in place to remove bulk items.
- 4) External bins located close to timber cladding. Bins to be located further way from building. Email sent to housing manager.



**Section
16**

Control and Supervision of Contractors and Visitors

- 1) Responsive Repairs service delivered by Sandwell MBC necessitates the production of an order via the computerised repairs system. Details of any known risks are documented on the repair order.
 - 2) Hot works are not permitted unless authorisation is given via the approved officer. The hot works procedure is to be followed.
 - 3) Owing to the nature of Low-Rise flatted accommodation, it is difficult to manage / control individual contractors / utility companies.
 - 4) However, utility companies are not allowed to access any service cupboard or secure area. They must request and collect maintenance keys from the local housing team. This allows scrutiny of what is the scope of any works such as installation of tenant's broadband / phone line etc.
 - 5) Where contractors are appointed to undertake major refurbishment works, Sandwell MBC Urban Design team will put control measures in place. Such Measures include: -
 - a) Pre-Contract Meetings – where contractor is made aware of all working arrangements and safe systems of work to be adopted. Issues covered in this meeting will include:
 - Health and Safety.
 - Site security.
 - Safety of working and impact on children/school business.
 - Fire risk, if any.
 - Site Emergency Plan.
 - b) Monthly Site Meetings – in order to monitor, review and share any new information including any new risks.
 - c) Site monitored daily whilst work is in progress by Clerk of Works / Health and Safety Officers.
 - d) Final Contractor review on completion of works undertaken.
-

Section 17

Arson Prevention

- 1) Regular checks are undertaken by Janitorial / Cleaning Teams which helps reduce the risk of arson.
- 2) Evidence of arson was noted within block 85-99. Email sent to housing manager.



- 3) The perimeter of the premises is well illuminated.
- 4) There have been no fire related incidents since the previous FRA.

Section 18

Storage Arrangements

- 1) Residents instructed not to bring L.P.G cylinders into block.
 - 2) The tenancy conditions, Section 7 – Condition 5.6 stipulates “If you live in a flat or maisonette, you, people living with you and any visitors to your property must not keep or use paraffin oil, petrol, bottled gas appliances or any other explosive, FLAMMABLE or dangerous material in the property. This restriction also applies to any storage facility situated in or attached to the block, which has been provided for your use.”
-

3) No Flammable liquids stored on site by Caretakers / cleaners.

4) There are no flammable liquids or gas cylinders stored on site.

Section 19

Additional Control Measures; Fire Risk Assessment - Level 2 Action Plan

Significant Findings

Action Plan

It is considered that the following recommendations should be implemented to reduce fire risk to, or maintain it at, the following level:

Trivial Tolerable

Definition of priorities (where applicable):

P1 Arrange and complete as urgent – Within 10 days

P2 Arrange and complete within 1-3 Months of assessment date

P3 Arrange and complete within 3-6 Months of assessment date

P4 Arrange and complete exceeding 6 months under programmed work



Fire Risk Assessment Level 2 Action Plan



Name of Premises or Location:


Stanhope Road 61-67, 85-99, 101-115, 117-131, 133-139,
141-155, 157-163.

Date of Action Plan:

16/05/2024

Review Date:

<Insert date>

| Question/ Ref No | Required Action | Supporting photograph | Priority | Timescale and Person Responsible | Date Completed |
|---------------------|---|--|----------|--|-------------------|
| 10/08 | Roof void fire stopping required, by flat 121. Brickwork missing. Acceptable to insert compact rockwool and then apply mortar covering. |  | P3 | Fire Rapid Response. 3-6 Months. | |

Fire Risk Assessment

| | | | | | |
|-------|--|----------|----|------------------------------------|--|
| 14/04 | Confirmation of last electrical test date required. If overdue electrical test required. | No Image | P3 | Electrical Engineers 3-6 Months | |
|-------|--|----------|----|------------------------------------|--|

When undertaking future improvement program(s), it is advised that the observations listed below should be given consideration (noting that the safety of the residents is not jeopardised by these, and all steps to reduce any known risks have been taken).

Observations

Future works programme should consider replacing the timber cladding with a non-combustible boarding.



Future works programme should consider the raising of the flat entrance walls to the underside of the pitched roof.



Fire Risk Assessment

Signed

| | | |
|-----------------|-------------------------|------------------|
| <i>A. Smith</i> | Fire Risk Assessor | Date: 16/05/2024 |
| <i>Bennett</i> | Quality Assurance Check | Date: 20/05/2024 |



Significant Hazards on Site and Information to be Provided for the Fire Service

Name of property: Stanhope Road. 61-67, 85-99, 101-115, 117-131,133-139, 141-155, 157-163


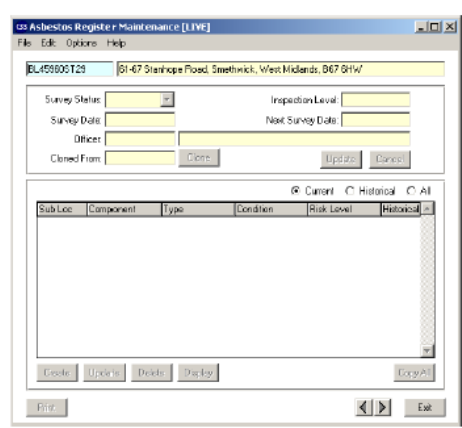

Updated: 17/08/2022

Premise Manager: Tony Thompson

Tel. No.: 0121 569 2975

| Hazard | Information/Comments |
|----------|--|
| Asbestos | An asbestos survey has been undertaken of the communal areas. Survey held by Sandwell Housing (Derek Still Tel:- 0121 569 5077). <i>Include survey</i> |




Block 61-67

| | | | | | | | | | |
|---|------------|---|----------|--|-------------|---|---|------------|--|
| Asbestos Survey | | Property Address 61-67 Stanhope Road, Smethwick, B67 6HW | | ✓ Office use | | | | | |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | ✓ | Site Check | |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 31/08/2022 |  TWO STOREY LOW RISE BLOCK Year Built 1936 | | | |
| Investment Void | | Refurbishment Survey | ✓ | Property Description | | | | | |
| Investment Tenanted | | Management Survey | ✓ | | | | | | |
| R & M Void | | SHAPE Interrogated. | ✓ | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | ✓ | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | | | | | | | |
| Communal Areas | ✓ | Refurb Surveys Interrogated ? | | | | | | | |
|  | | | | Notes / including details of similar property surveys completed. **MAIN ROOF SPACE NOT SURVEYED** *LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION* Revised By Dave Jasper on the 17/08/2022 | | | | | |
| Building Surveyors 0121 569 5077 | | | | Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES  | | | | | |

Fire Risk Assessment


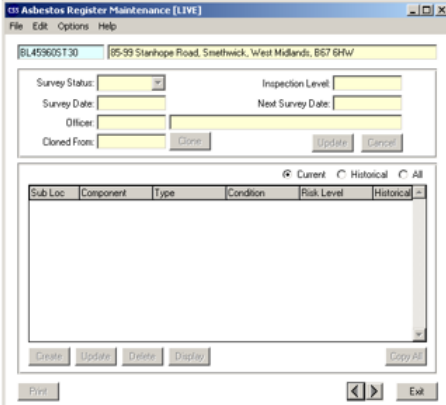

| Sample Locations | | Property Address 61-67 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|----------|--|-------------------|----------------------|----------|------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | labelled? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | | |

Block 85-99

| | | | | | | | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|--|-------------|---------------|--|---|--------------------------|
| Asbestos Survey | | Property Address | | 85-91 Stanhope Road, Smethwick, B67 6HW | | | <input checked="" type="checkbox"/> Office use | | |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> |
| Reason for request | | HSG 264 - Survey Report Type | | Date | | 31/08/2022 | |  TWO STOREY LOW RISE BLOCK Year Built 1936 | |
| Investment Void | | Refurbishment Survey | <input checked="" type="checkbox"/> | | | | | | |
| Investment Tenanted | | Management Survey | <input checked="" type="checkbox"/> | | | | | | |
| R & M Void | | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys <u>Interrogated?</u> | <input type="checkbox"/> | | | | | | |
|  | | | | Notes / including details of similar property surveys completed. **MAIN ROOF SPACE NOT SURVEYED** *LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION* Revised By Dave Jasper on the 17/08/2022 | | | | | |
| Building Surveyors 0121 569 5077 | | | | Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES  | | | | | |

Fire Risk Assessment

| Sample Locations | | Property Address 85-91 Stanhope Road, Smethwick, B67 6HW | | | | | |
|---|----------|--|-------------------|----------------------|----------|------------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | |

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|--|-------------------------------------|------------------------------|-------------------------------------|--|-------------|---|-------------------------------------|
| Asbestos Survey | | Property Address | | 93-99 Stanhope Road, Smethwick, B67 6HW | | | Office use |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 31/08/2022 |  | Year Built 1936 |
| Investment Void | | Refurbishment Survey | <input checked="" type="checkbox"/> | Property Description | | | |
| Investment Tenanted | | Management Survey | <input checked="" type="checkbox"/> | | | | |
| R & M Void | | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | <input type="checkbox"/> | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys Interrogated? | <input type="checkbox"/> | | | <ul style="list-style-type: none"> TWO STOREY LOW RISE BLOCK | |
|  | | | | Notes / including details of similar property surveys completed. <p style="color: red;">**MAIN ROOF SPACE NOT SURVEYED**</p> <p style="color: red;">*LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED - SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION*</p> <p style="color: red;">Revised By Dave Jasper on the 17/08/2022</p> | | | |
| Building Surveyors 0121 569 5077 | | | | Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES | | | |
|  | | | | Sandwell Metropolitan Borough Council | | | |

Fire Risk Assessment

| Sample Locations | | Property Address: 93-99 Stanhope Road, Smethwick, B67 6HW | | | | | |
|---|----------|---|-------------------|----------------------|----------|------------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | |

Block 101-115

| Asbestos Survey | | Property Address: 101-107 Stanhope Road, Smethwick, B67 6HW | | Office use ✓ | | | | | |
|-------------------------------------|------------|---|----------|--|-------------|---------------|---|------------|--|
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | ✓ | Site Check | |
| Reason for request | | HSG 264 - Survey Report Type | | Date | | | | | |
| Investment Void | | Refurbishment Survey | ✓ | 31/08/2022 | | | | | |
| Investment Tenanted | | Management Survey | ✓ | TWO STOREY LOW RISE BLOCK | | | | | |
| R & M Void | | SHAPE Interrogated. | ✓ | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | ✓ | Year Built | 1936 | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | | | | | | | |
| Communal Areas | ✓ | Refurb Surveys <u>interrogated?</u> | | Notes / including details of similar property surveys completed. **MAIN ROOF SPACE NOT SURVEYED** *LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION* Revised By Dave Jasper on the 17/08/2022 | | | | | |
| | | | | Building Surveyors 0121 569 5077 <div style="display: flex; align-items: center;"> <div> <p>Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES</p> </div> </div> | | | | | |

Fire Risk Assessment

| Sample Locations | | Property Address 101-107 Stanhope Road, Smethwick, B67 6HW | | | | | |
|---|--|---|---|----------------------|----------|------------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM's. | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | |
| RAINWATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | |

| | | | | | | | | | |
|-------------------------------------|-------------------------------------|---|-------------------------------------|--|--------------------|---|-------------------------------------|------------|--------------------------|
| Asbestos Survey | | Property Address 109-115 Stanhope Road, Smethwick, B67 6HW | | Office use <input checked="" type="checkbox"/> | | | | | |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> |
| Reason for request | | HSG 264 - Survey Report Type | | Date | | <div style="display: flex;"> <div style="flex: 1;"> <p>Property Description</p> <p>TWO STOREY LOW RISE BLOCK</p> </div> <div style="flex: 1;"> </div> </div> | | | |
| Investment Void | <input type="checkbox"/> | Refurbishment Survey | <input checked="" type="checkbox"/> | 31/08/2022 | | | | | |
| Investment Tenanted | <input type="checkbox"/> | Management Survey | <input checked="" type="checkbox"/> | | | | | | |
| R & M Void | <input type="checkbox"/> | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | |
| R & M Tenanted | <input type="checkbox"/> | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | |
| Medical / Emergency - Heating Works | <input type="checkbox"/> | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys <u>Interrogated?</u> | <input type="checkbox"/> | | | | | | |
| | | | | | | Year Built | 1936 | | |

Notes / including details of similar property surveys completed.

****MAIN ROOF SPACE NOT SURVEYED****

LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION

Revised By Dave Jasper on the 17/08/2022


Building Surveyors
0121 569 5077

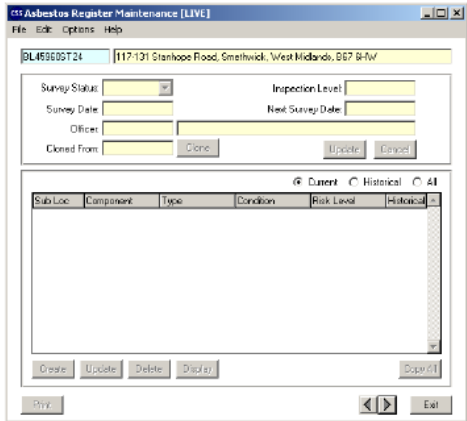
Asset Team – Investment Division
Operations & Development Centre
Roway Lane
Oldbury
B69 3ES

Fire Risk Assessment

| Sample Locations | Property Address | 109-115 Stanhope Road, Smethwick, B67 6HW | | | | | |
|---|------------------|---|-------------------|----------------------|----------|------------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | |

Block 117- 131

| Asbestos Survey | | Property Address | 117-123 Stanhope Road, Smethwick, B67 6HW | | <input checked="" type="checkbox"/> Office use | | | | | |
|-------------------------------------|---|-------------------------------------|---|--|--|-------------|--|-------------------------------------|------------|--------------------------|
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> |
| Reason for request | HSG 264 - Survey Report Type | | Date | | Date | |  <p style="text-align: center;">TWO STOREY LOW RISE BLOCK</p> | | | |
| Investment Void | Refurbishment Survey | <input checked="" type="checkbox"/> | Property Description | | 31/08/2022 | | | | | |
| Investment Tenanted | Management Survey | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Void | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Tenanted | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | | | |
| Medical / Emergency - Heating Works | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> Refurb Surveys Interrogated ? | <input type="checkbox"/> | | | | | | | | |



Notes / including details of similar property surveys completed.

MAIN ROOF SPACE NOT SURVEYED

LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION

Revised By Dave Jasper on the 17/08/2022


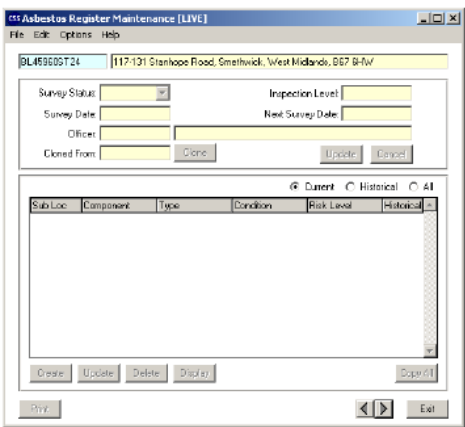

Building Surveyors
0121 569 5077

Asset Team – Investment Division
Operations & Development Centre
Roway Lane
Oldbury
B69 3ES



Fire Risk Assessment


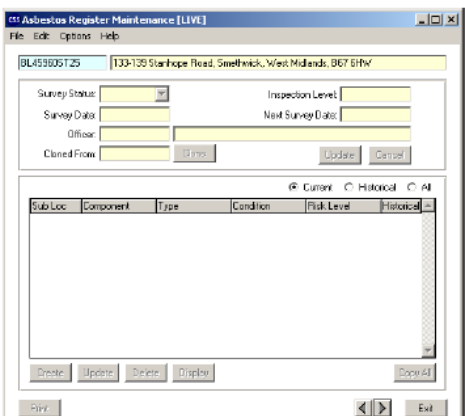

| Sample Locations | | Property Address 117-123 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|----------|---|-------------------|----------------------|----------|------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | Labelled? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | | |

| | | | | | | | | | |
|---|-------------------------------------|---|-------------------------------------|-----------------|--|---|-------------------------------------|------------|--------------------------|
| Asbestos Survey | | Property Address 125-131 Stanhope Road, Smethwick, B67 6HW | | ✓ Office use | | | | | |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 31/08/2022 | <div style="display: flex;"> <div style="flex: 1;"> <p>Property Description</p> <p>TWO STOREY LOW RISE BLOCK</p> </div> <div style="flex: 1;">  </div> </div> <p style="text-align: right;">Year Built 1936</p> | | | |
| Investment Void | | Refurbishment Survey | <input checked="" type="checkbox"/> | | | | | | |
| Investment Tenanted | | Management Survey | <input checked="" type="checkbox"/> | | | | | | |
| R & M Void | | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys Interrogated ? | <input type="checkbox"/> | | | | | | |
|  | | | | | <p>Notes / including details of similar property surveys completed.</p> <p>**MAIN ROOF SPACE NOT SURVEYED**</p> <p>*LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION*</p> <p>Revised By Dave Jasper on the 17/08/2022</p> | | | | |
| Building Surveyors 0121 569 5077 | | | | | <div style="display: flex; align-items: center;">  <div> <p>Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES</p> </div> </div> | | | | |

Fire Risk Assessment

| Sample Locations | Property Address | 125-131 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|------------------|---|----------------------------------|------------|----------|----------------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | Labeling? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | | MATERIAL | LOCATION DESCRIPTION | | MATERIAL | LOCATION DESCRIPTION | | MATERIAL |
| MAIN ROOF SOFFIT | | PLASTIC | FRONT DOOR FRAME SEALANTS | | SILICONE | | | |
| RAIN WATER GOODS | | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | | SILICONE | | | |
| LANDING / STAIR WALLS | | BRICK | | | | | | |
| LANDING / STAIR CEILING | | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | | SUPALUX | | | | | | |


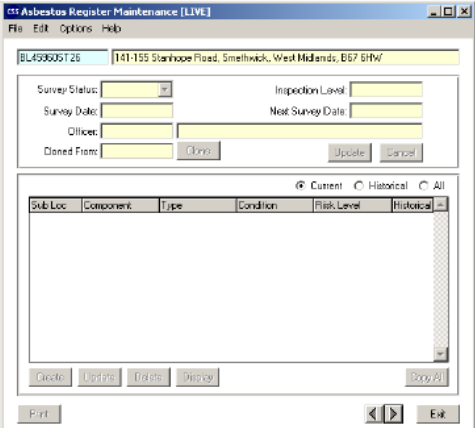

Block 133-139

| Asbestos Survey | | Property Address | | 133-139 Stanhope Road, Smethwick, B67 6HW | | | | <input checked="" type="checkbox"/> Office use | | | | | |
|---|--|---------------------------------|--|---|--|----------------------|--|---|-------------|--------------------|-------------------------------------|------------|-------------------------------------|
| Surveyed by | | JOHN DAVIS | | Date | | 20/03/14 | | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input checked="" type="checkbox"/> |
| Reason for request | | HSG 264 - Survey Report Type | | Date | | 31/08/2022 | | TWO STOREY LOW RISE BLOCK  | | Year Built 1936 | | | |
| Investment Void | | Refurbishment Survey | | ✓ | | Property Description | | | | | | | |
| Investment Tenanted | | Management Survey | | ✓ | | | | | | | | | |
| R & M Void | | SHAPE Interrogated. | | ✓ | | | | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | | ✓ | | | | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | | | | | | | | | | | |
| Communal Areas | | ✓ Refurb Surveys Interrogated ? | | | | | | | | | | | |
|  | | | | Notes / including details of similar property surveys completed. **MAIN ROOF SPACE NOT SURVEYED** *LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION* Revised By Dave Jasper on the 17/08/2022 | | | | | | | | | |
| Building Surveyors 0121 569 5077 | | | | <div style="display: flex; justify-content: space-between;">  <div style="text-align: right;"> Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES </div> </div> | | | | | | | | | |

Fire Risk Assessment


| Sample Locations | | Property Address 133-139 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|----------|--|-------------------|----------------------|----------|------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | Labelled? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | | |

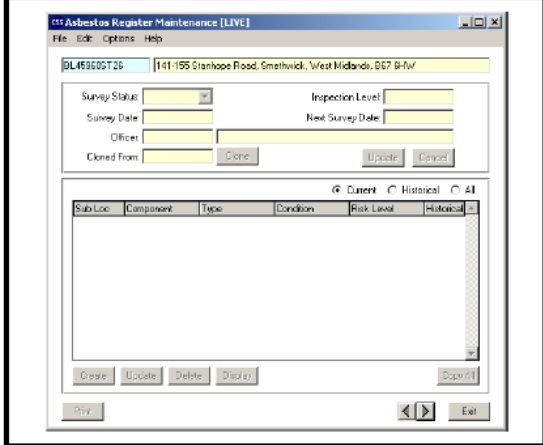
Block 141-155

| Asbestos Survey | | Property Address 141-147 Stanhope Road, Smethwick, B67 6HW | | Office use | | | | | | | |
|---|-------------------------------------|--|-------------------------------------|---|-------------|---|-------------------------------------|------------|--------------------------|------|--|
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> | | |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 31/08/2022 | <div style="display: flex;"> <div style="flex: 1;"> <p style="text-align: center;">Property Description</p> <p style="text-align: center; font-weight: bold;">TWO STOREY LOW RISE BLOCK</p> </div> <div style="flex: 1;">  </div> </div> | | | | | |
| Investment Void | | Refurbishment Survey | <input checked="" type="checkbox"/> | Year Built | | | | | | 1936 | |
| Investment Tenanted | | Management Survey | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Void | | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys Interrogated ? | <input type="checkbox"/> | | | | | | | | |
|  | | | | <p>Notes / including details of similar property surveys completed.</p> <p style="color: red;">**MAIN ROOF SPACE NOT SURVEYED**</p> <p style="color: red;">*LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION*</p> <p style="color: red;">Revised By Dave Jasper on the 17/08/2022</p> | | | | | | | |
| | | | | Building Surveyors 0121 569 5077 | | <div style="display: flex; align-items: center;">  <div> <p style="margin: 0;">Asset Team – Investment Division</p> <p style="margin: 0;">Operations & Development Centre</p> <p style="margin: 0;">Roway Lane</p> <p style="margin: 0;">Oldbury</p> <p style="margin: 0;">B69 3ES</p> </div> </div> | | | | | |

Fire Risk Assessment

| Sample Locations | Property Address | 141-147 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|------------------|---|-------------------|----------------------|----------|------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | Labelled? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | | |

| | | | | | | | | | | |
|-------------------------------------|------------------------------|-------------------------------|---|------------|-----------------|--|---------------|---|------------|--|
| Asbestos Survey | | Property Address | 149-155 Stanhope Road, Smethwick, B67 6HW | | ✓ Office use | | | | | |
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | | Checked by | Derek still | Desktop Check | ✓ | Site Check | |
| Reason for request | HSG 264 - Survey Report Type | | Date | 31/08/2022 | | Property Description TWO STOREY LOW RISE BLOCK  Year Built 1936 | | | | |
| Investment Void | | Refurbishment Survey | ✓ | | | | | | | |
| Investment Tenanted | | Management Survey | ✓ | | | | | | | |
| R & M Void | | SHAPE Interrogated. | ✓ | | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | ✓ | | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | | | | | | | | |
| Communal Areas | ✓ | Refurb Surveys Interrogated ? | | | | | | | | |



Notes / including details of similar property surveys completed.

MAIN ROOF SPACE NOT SURVEYED

LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION

Revised By Dave Jasper on the 17/08/2022

Building Surveyors
0121 569 5077


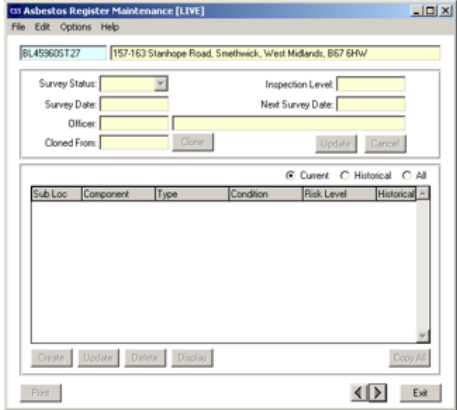

Asset Team – Investment Division
Operations & Development Centre
Roway Lane
Oldbury
B69 3ES



Fire Risk Assessment

| Sample Locations | | Property Address 149-155 Stanhope Road, Smethwick, B67 6HW | | | | | | |
|---|----------|---|-------------------|----------------------|----------|------------|-----------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | Labelled? | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | | |
| RAIN WATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | | |

Block 157-163

| Asbestos Survey | | Property Address 157-163 Stanhope Road, Smethwick, B67 6HW | | | Office use <input checked="" type="checkbox"/> | | | | | | |
|---|-------------------------------------|---|-------------------------------------|--|---|---|-------------------------------------|------------|--------------------------|--|--|
| Surveyed by | JOHN DAVIS | Date | 20/03/14 | Checked by | Derek still | Desktop Check | <input checked="" type="checkbox"/> | Site Check | <input type="checkbox"/> | | |
| Reason for request | | HSG 264 - Survey Report Type | | Date | 31/08/2022 |  <p style="text-align: center;">TWO STOREY LOW RISE BLOCK</p> <p style="text-align: right;">Year Built 1936</p> | | | | | |
| Investment Void | | Refurbishment Survey | <input checked="" type="checkbox"/> | Property Description | | | | | | | |
| Investment Tenanted | | Management Survey | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Void | | SHAPE Interrogated. | <input checked="" type="checkbox"/> | | | | | | | | |
| R & M Tenanted | | No Existing SHAPE Data. | <input checked="" type="checkbox"/> | | | | | | | | |
| Medical / Emergency - Heating Works | | Existing SHAPE Data. | <input type="checkbox"/> | | | | | | | | |
| Communal Areas | <input checked="" type="checkbox"/> | Refurb Surveys Interrogated ? | <input type="checkbox"/> | | | | | | | | |
|  | | | | | | <p>Notes / including details of similar property surveys completed.</p> <p style="color: red;">**MAIN ROOF SPACE NOT SURVEYED**</p> <p style="color: red;">*LANDING STORE CUPBOARDS BY FLAT FRONT DOORS NOT SURVEYED – SEE INDIVIDUAL FLAT SURVEYS FOR FURTHER INFORMATION*</p> <p style="color: red;">Revised By Dave Jasper on the 17/08/2022</p> | | | | | |
| Building Surveyors 0121 569 5077 | | | | Asset Team – Investment Division Operations & Development Centre Roway Lane Oldbury B69 3ES | | | | | | | |
| | | | |  | | | | | | | |

Fire Risk Assessment

| Sample Locations | Property Address | 157-163 Stanhope Road, Smethwick, B67 6HW | | | | | |
|---|------------------|---|-------------------|----------------------|----------|------------|--------------------------|
| LOCATION | MATERIAL | QTY | SURFACE TREATMENT | SAMPLE REF | RESULT | HSE NOTIFY | ACTION TAKEN ON CONTRACT |
| IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE | | | | | | | |
| NO SUSPECTED A.C.M.'S OBSERVED DURING SURVEY | | | | | | | |
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| ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S. | | | | | | | |
| LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | LOCATION DESCRIPTION | MATERIAL | | |
| MAIN ROOF SOFFIT | PLASTIC | FRONT DOOR FRAME SEALANTS | SILICONE | | | | |
| RAINWATER GOODS | PLASTIC | LANDING CUPBOARDS FRAME SEALANTS | SILICONE | | | | |
| LANDING / STAIR WALLS | BRICK | | | | | | |
| LANDING / STAIR CEILING | PLASTER | | | | | | |
| PANELS ABOVE FLAT FRONT DOORS | SUPALUX | | | | | | |