

# Fire Risk Assessment

## Cypress Gardens 1-30



**Yew Tree Estate,  
Walsall,  
WS5 4ED**

**Date Completed: 19/02/2025.**

**Review Period: 3 years**

**Officer: Louis Conway Building Safety Manager**

**Checked By: Anthony Smith Team Lead Building Safety**

**Current Risk Rating = Tolerable**

**Subsequent reviews**

<b><u>Review date</u></b>	<b><u>Officer</u></b>	<b><u>Comments</u></b>

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## Section

# 0

## Introduction

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The [Regulatory Reform \(Fire Safety\) Order 2005 \(RR\(FS\)O\)](#) places a legal duty on landlords to complete a fire risk assessment (FRA). Specifically, RR(FS)O article 9. — (1) *“The responsible person must make a suitable and sufficient assessment of the risks to which relevant persons are exposed for the purpose of identifying the general fire precautions he needs to take to comply with the requirements and prohibitions imposed on him by or under this Order”*.

This type 1 Fire Risk Assessment has been written to comply fully with the above legislation which is enforced locally by West Midlands Fire Service. If required, complaints can be made to them by telephone on 0121 380 7500 or electronically on <https://www.wmfs.net/our-services/fire-safety/#reportfiresafety>. In the first instance however, we would be grateful if you could contact us directly via [https://www.sandwell.gov.uk/info/200195/contact\\_the\\_council/283/feedb ack\\_and\\_complaints](https://www.sandwell.gov.uk/info/200195/contact_the_council/283/feedback_and_complaints) or by phone on 0121 569 6000.

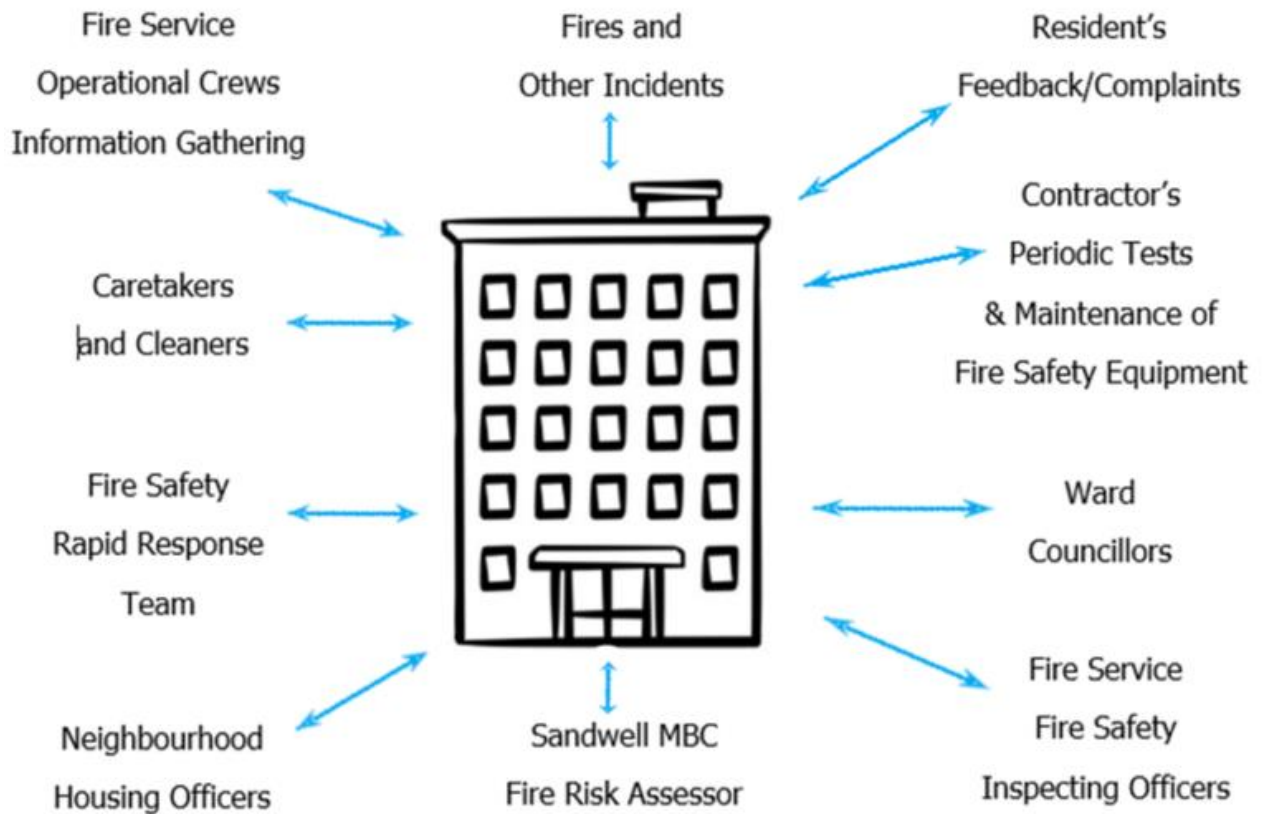
The date of the fire risk assessment is on the front page, followed by any subsequent reviews. A recurring time frame is not set in legislation, but the Council will as a minimum review:

- High Risk Residential Buildings annually
- Other Buildings every 3 years

The council has procedures and policies in place that will trigger a review of the fire risk assessment. This then is recorded on the fire risk assessment. If the review suggests the fire risk assessment is not currently suitable and sufficient, then a new fire risk assessment will be undertaken and become the current fire risk assessment. The previous fire risk assessment will be retained in the building safety case for that building.

The following diagrams illustrate those procedures and persons that support the effective planning, organisation, control, monitoring and review of the preventive and protective measures. This information is provided as required under the RR(FS)O.

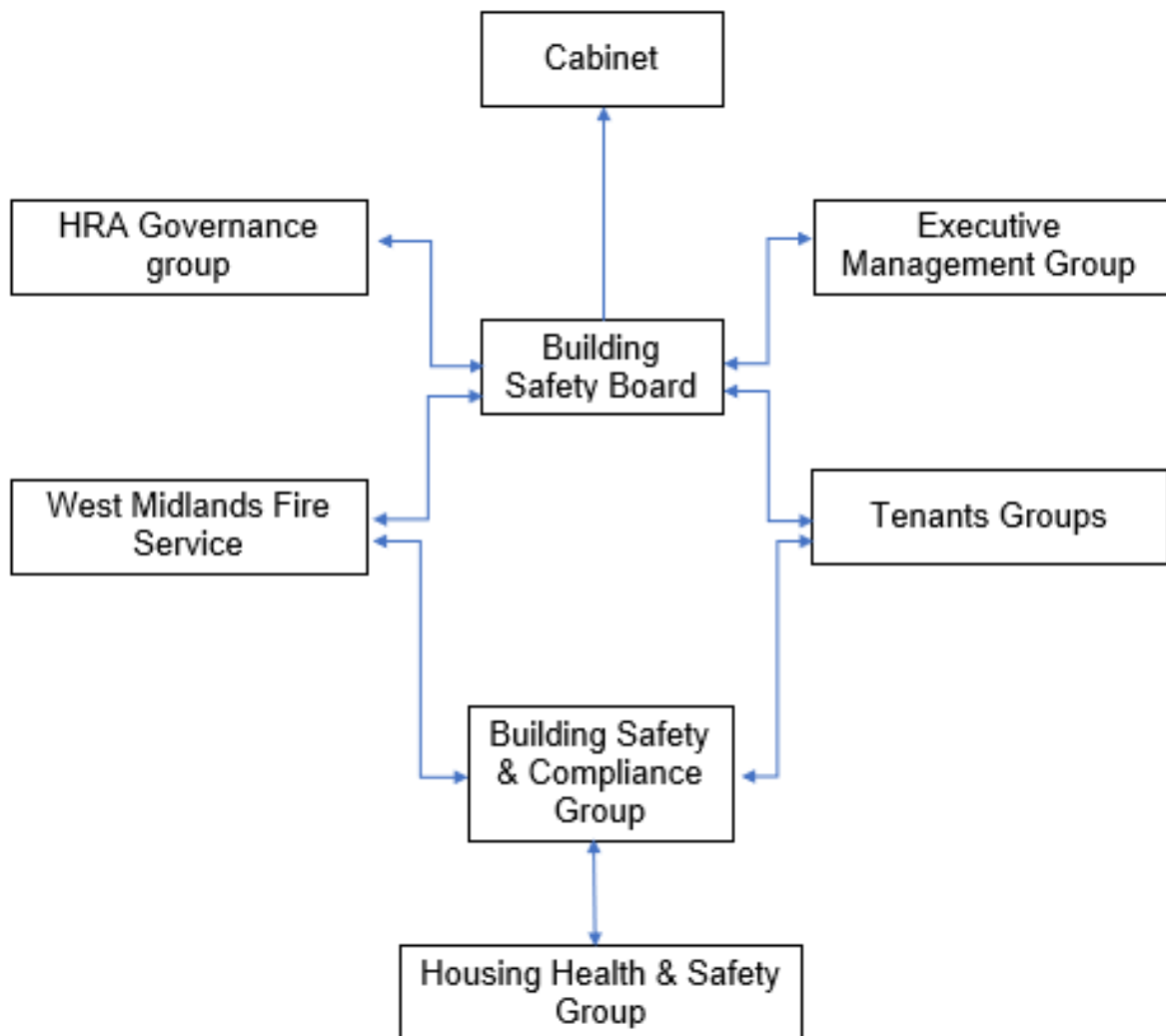
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The above processes and procedures are overseen by the Fire Safety, Manager who reports to the Head of Building Safety

These managers attend the Building Safety and Compliance Group for scrutiny which is part of the governance structure below.

Governance Structure



To summarise the fire risk assessment, in this scenario the RR(FS)O requires the prescribed information to be recorded. The prescribed information is the significant findings of the fire risk assessment and those groups or persons especially at risk from fire. This is recorded here in [section 1](#). Also required to be recorded under article 11, are the fire safety arrangements for the planning, organisation, control, monitoring and review of the preventative and protective measures. The information shown above is part of this requirement.

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## Section

## 1

## Significant findings

The significant findings (executive summary) of the fire risk assessment include those measures that have been or will be undertaken by the responsible person in order to comply with the RR(FS)O 2005.

Groups of people especially at risk of fire include such people as remote or lone workers, at risk due to layout of the building, visitors and contractors unfamiliar with the building layout as well as those with physical, sensory or mental health issues.

A third requirement that under the order must be recorded is the fire safety arrangements. This is the effective planning, organisation, control, monitoring and review of the preventive and protective measures. These are shown in the introduction.

### **Significant findings**

*Include a brief summary of protective and preventative measures where relevant along with any issues found.*

The escape strategy is '**Stay Put Unless**'. This means in the event of a fire in your Flats you should evacuate. If there is a fire elsewhere in the building you should stay put unless you are affected by fire, smoke or you have been advised by the emergency services to leave.

Section number	Section Area	Individual Risk Level
<a href="#">Section 6</a>	<p><b>External Envelope</b></p> <p>The external envelope of these low-rise blocks is of concrete masonry construction with a pitched tiled roof, balcony access and double glazed UPVC windows within flats and on communal areas.</p> <p>Timber or plastic screening has been attached to balconies.</p> <p>Excess fire loading was identified on balconies.</p>	Tolerable

<p><a href="#">Section 7</a></p>	<p><b>Means of Escape from Fire</b></p> <p>Each block detailed within the risk assessment (5 in total) have one staircase leading to a final exit and benefit from Automatic ventilation at the head of the staircase.</p> <p>Flat 8 Missing self-closing device on flat entrance door.</p>	<p>Tolerable</p>
<p><a href="#">Section 8</a></p>	<p><b>Fire Detection and Alarm Systems</b></p> <p>The smoke Detection within resident's Flats is installed to a minimum of LD3 Standard.</p>	<p>Trivial</p>
<p><a href="#">Section 9</a></p>	<p><b>Emergency Lighting</b></p> <p>No emergency lighting has been installed at the block's; standardised lighting has been utilized.</p>	<p>Trivial</p>
<p><a href="#">Section 10</a></p>	<p><b>Compartmentation</b></p> <p>The walls and floors are designed to provide as a minimum 1-hour vertical fire resistance and 1-hour horizontal fire resistance around flats. All flat entrance doors are considered to be 30 – minute notional fire Doors.</p> <p>Breaches in compartmentation within the loft space.</p>	<p>Tolerable</p>
<p><a href="#">Section 11</a></p>	<p><b>Fire Fighting Equipment</b></p> <p>There are no firefighting provisions at the blocks.</p>	<p>Trivial</p>



<p><a href="#">Section 12</a></p>	<p><b>Fire Signage</b></p> <p>Appropriate signage is in place Fire door keep shut &amp; no smoking signs present within each block.</p>	<p>Trivial</p>
<p><a href="#">Section 13</a></p>	<p><b>Employee Training</b></p> <p>All SMBC staff receive basic fire safety awareness training.</p>	<p>Trivial</p>
<p><a href="#">Section 14</a></p>	<p><b>Sources of Ignition</b></p> <p>The fixed electrical installation shall be tested every 5 years. Last electrical inspections were conducted 27-Feb-2025.</p>	<p>Trivial</p>
<p><a href="#">Section 15</a></p>	<p><b>Waste Control</b></p> <p>Regular cleaning service at the block and regular checks from caretakers help with the waste control at the block. Bin stores are located externally at the rear of the blocks.</p>	<p>Trivial</p>
<p><a href="#">Section 16</a></p>	<p><b>Control and Supervision of Contractors and Visitors.</b></p> <p>Contractors are controlled centrally, and hot works permits are required where necessary.</p>	<p>Trivial</p>
<p><a href="#">Section 17</a></p>	<p><b>Arson Prevention</b></p> <p>No evidence of arson across the blocks and there have been no fire incidents since the last FRA.</p>	<p>Trivial</p>
<p><a href="#">Section 18</a></p>	<p><b>Storage Arrangements</b></p> <p>Residents have no means of storage within communal areas. Sheds are provided externally in the rear yard area.</p>	<p>Trivial</p>

### Risk Level Indicator

The following simple risk level estimator is based on commonly used risk level estimator:

Likelihood of fire	Potential consequences of fire		
	Slight harm	Moderate harm	Extreme harm
Low	Trivial risk	Tolerable risk	Moderate risk
Medium	Tolerable risk	Moderate risk	Substantial risk
High	Moderate risk	Substantial risk	Intolerable risk

Considering the fire prevention measures observed at the time of this risk assessment, it is considered that the hazard from fire (likelihood of fire) at these premises is:

Low  Medium  High

In this context, a definition of the above terms is as follows:

**Low** Unusually low likelihood of fire because of negligible potential sources of ignition.

**Medium** Normal fire hazards (e.g. potential ignition sources) for this type of occupancy, with fire hazards generally subject to appropriate controls (other than minor shortcomings).

**High** Lack of adequate controls applied to one or more significant fire hazards, such as to result in significant increase in likelihood of fire.

Considering the nature of the premises and the occupants, as well as the fire protection and procedural arrangements observed at the time of this fire risk assessment, it is considered that the consequences for life safety in the event of fire would be:

Slight Harm     Moderate Harm     Extreme Harm

In this context, a definition of the above terms is as follows:

<b>Slight harm</b>	Outbreak of fire unlikely to result in serious injury or death of any occupant (other than an occupant sleeping in a room in which a fire occurs).
<b>Moderate harm</b>	Outbreak of fire could foreseeably result in injury including serious injury) of one or more occupants, but it is unlikely to involve multiple fatalities.
<b>Extreme harm</b>	Significant potential for serious injury or death of one or more occupants.

Accordingly, it is considered that the risk to life from fire at these premises is:

Trivial     Tolerable     Moderate     Substantial     Intolerable

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## Comments

This type 1 Fire Risk Assessment covers the external envelope, flat entrance doors, and communal areas of five low-rise residential blocks, (Cypress Gardens) each comprising of ground, 1<sup>st</sup>, and 2<sup>nd</sup> floors with 2 dwellings on each floor. All five blocks sharing a similar layout and construction.

In conclusion, the likelihood of a fire is at a medium level of risk due to normal fire hazards for this type of occupancy including Issues with balconies (netting/trellis present) and Fire breaks within the roof space.

After considering the use of the premise and the occupants within the blocks, the consequences for life safety in the event of a fire would be slight harm. This is due to there being sufficient compartmentation to include a minimum of notional FD30 fire doors to flat entrances alongside suitable smoke detection to a minimum of LD3 standard within flats, automatic smoke ventilation on the staircase along the means of escape accompanied with a stay put unless policy for the premise.

Overall, due to actions highlighted within the risk assessment the level of risk at the time of this FRA is **Tolerable** It is considered that the following recommendations should be implemented to reduce fire risk further to trivial.

A suitable risk-based control plan should involve effort and urgency that is proportional to risk. The following risk- based control plan is based on one that has been advocated for general health and safety risks:

<b>Risk level</b>	<b>Action and timescale</b>
<b>Trivial</b>	No action is required, and no detailed records need to be kept.
<b>Tolerable</b>	No major additional fire precautions required. However, there might be a need for reasonably practicable improvements that involve minor or limited cost.
<b>Moderate</b>	It is essential that efforts are made to reduce the risk. Risk reduction measures, which should take cost into account, should be implemented within a defined time period. Where moderate risk is associated with consequences that constitute extreme harm, further assessment might be required to establish more precisely the likelihood of harm as a basis for determining the priority for improved control measures.
<b>Substantial</b>	Considerable resources might have to be allocated to reduce the risk. If the premises are unoccupied, it should not be occupied until the risk has been reduced. If the premises are occupied, urgent action should be taken.
<b>Intolerable</b>	Premises (or relevant area) should not be occupied until the risk is reduced.

***(Note that, although the purpose of this section is to place the fire risk in context, the above approach to fire risk assessment is subjective and for guidance only. All hazards and deficiencies identified in this report should be addressed by implementing all recommendations contained in the following action plan. The fire risk assessment should be reviewed regularly.)***

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## Section

# 2

## People at Significant Risk of Fire

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Persons at significant risk of fire does not just refer to those people with physical, sensory or mental health issues. It also includes those at risk due to the layout or features of the building such as inner rooms or dead-end conditions. Persons may also be at risk due to remote or lone working.

The RR(FS)O requires that these people are identified in any fire risk assessment.

Sandwell Council takes the health, safety and wellbeing of its colleagues, contractors, residents and leaseholders seriously. It is our policy to exceed, where possible, the minimum health and safety requirements of the law.

Residents are responsible for letting us know whether they might need a Personal Emergency Evacuation Plan (PEEP). The Resident Engagement Officers (Fire Safety) will conduct an assessment visit upon request. Any risk-reduction measures that are found where a PEEP is necessary and completed will be documented and taken quickly. With the consent of the resident, we will make a referral for West Midlands Fire Service to conduct a Safe and Well visit.

When a PEEP is in place, the relevant information will be kept in the secure Premise Information Box (High Rise Buildings only), which is set up to help WMFS in an emergency. The data is classified as level 1, which means it complies with the General Data Protection Regulations.

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## Section

# 3

## Contact Details

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The Chief Executive of Sandwell Metropolitan Borough Council has ultimate responsibility for the site as the responsible person identified by the RR(FS)O 2005.

The Chief Executive has put a structure in place to support the management of the site.

This includes the role of Building Safety Manager who has duties as defined within the Regulatory Reform (Fire Safety) Order 2005.

The contact names to support the management of the site are as follows:

**Chief Executive**

Shokat Lal

**Executive Director of place**

Alan Lunt

**Assistant Director Building Compliance**

Sarah Agar

**Fire & Building Safety Manager**

Tony Thompson

**Team Lead Fire Safety**

Jason Blewitt

**Team Lead Building Safety**

Anthony Smith

**Building Safety Manager(s)**

Carl Hill

Louis Conway

Adrian Jones

**Resident Engagement Officer - Fire Safety**

Abdul Monim Khan

Hannah Russon

Ethan Somaiya

**Housing Office Manager**

Lisa Ellis

*Please note, the above details are correct at the time of the production of the risk assessment and may be subject to change*

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## Section

# 4

## Description of Premises

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Cypress Gardens 1-30  
Yew Tree Estate,  
Walsall,  
WS5 4ED

### Description of the Property

The communal, any workplace areas and the external envelope of the building are subject to the Regulatory Reform (Fire Safety) Order 2005 as confirmed by the Fire Safety Act 2021.

The enforcing authority is West Midlands Fire Service.

This Type 1 Fire Risk Assessment covers 5 low-rise blocks consisting of three storeys (inclusive of the ground floor), constructed in approx. 1962.

Each block contains 6 flats with two dwellings on each floor.

Access gained to flats on the ground floor via the main access point on the front elevation on the ground floor, there is a further entrance/exit on the rear elevation.

Each block utilises fob access for tenants however is also supported by a drop latch system for access by SMBC staff and WMFS.

There are 5 staircases in total across the 5 blocks with each block having access to one internal staircase that are ventilated with the use of an AOV system.

The buildings are of traditional brick, concrete construction, double glazed UPVC window frames surmounted by a pitched roof with internal access to roof space via the communal areas.

Residents have access to external storage areas (sheds) located in the rear yard area.

Bin refuge areas are located in the rear yard area.

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Gas supplies are present at the block.

None of the blocks within this risk assessment are connected by communal areas. Due to the near proximity, similarity in construction and, layout, these blocks have been grouped in one FRA.

(Per Block)

Low Rise	Yes
Number of Floors	3
Date of Construction	1962
Construction Type	Traditional
Last Refurbished	Unknown
External Cladding	None
Number of Lifts	None
Number of Staircases	One
Automatic Smoke Ventilation to communal area	Yes
Fire Alarm System	No
Refuse Chute	No
Access to Roof	Yes
Equipment on roof (e.g. mobile phone station etc)	No

**Persons at Risk**

Residents / Occupants of 30 flats (6 each block)

Visitors,

Sandwell MBC employees,

Contractors,

Service providers (e.g. meter readers, delivery people etc)

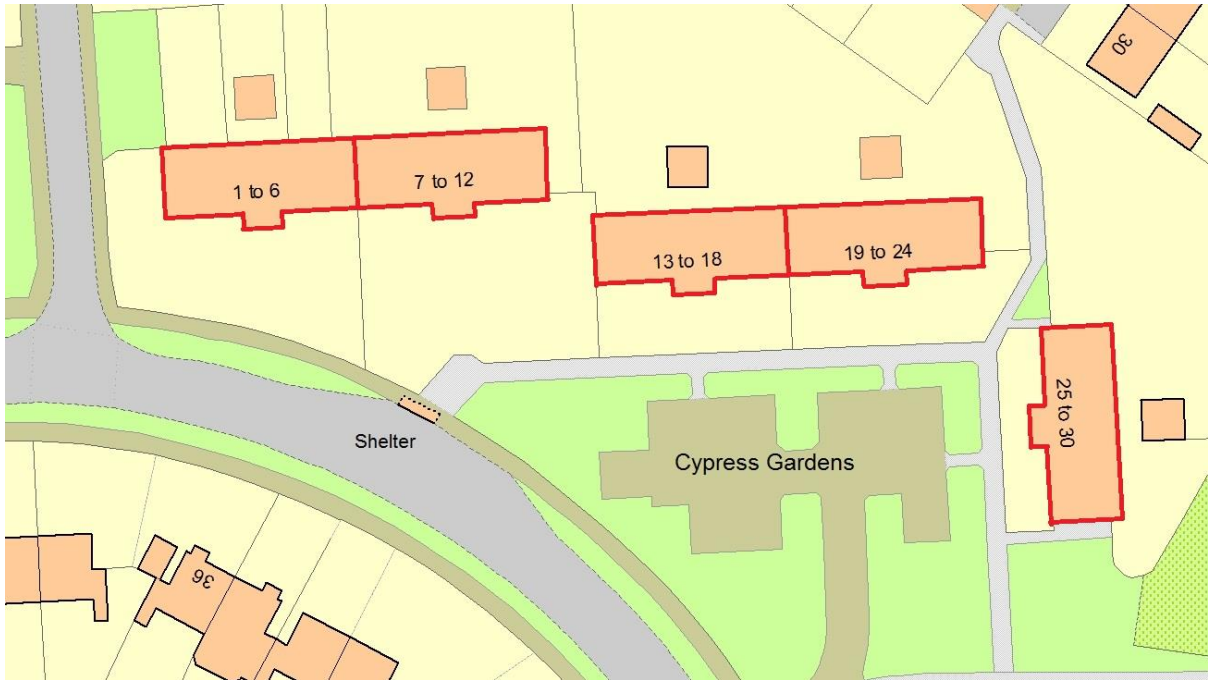
Statutory bodies (e.g. W.M.F.S, Police, and Ambulance)

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**Section  
5**

**Building Plan**

Plan to show the general location/ orientation of the building.



## Section 6

### External envelope

Following the introduction of the Fire Safety Act 2021, consideration needs to be given to the external envelope of the building for any fire risk. This predominantly means the external wall construction including any insulation filler. It also includes balconies and any other fixtures as well as doors and windows.

Regarding the external façade, the materials, construction, and their constituent properties have been taken from a database provided by Sandwell Metropolitan Borough Council.

Below is a breakdown of the materials used within the external envelope, it is deemed that the combination and application of these materials presents an acceptable level of fire risk.

- 1) The external envelope of the premises is predominantly traditional brick, concrete construction, with a pitched tiled roof with UPVC features. This is reflected across the 5 blocks.



- 2) Individual flat windows are double glazed UPVC window frames.
- 3) Main access doors to the premises are of timber construction.
- 4) Gas is present at the blocks with pipes running externally along the rear elevation.



- 5) At the time of conducting the FRA block 19-24 had scaffolding erected on the front elevation.



- 6) **Mixture of Timber and plastic screening to all flats with balconies in block 1-6 (3, 4, 5, & 6).**



- 7) **Fire loading present on flat 10 Balcony.**



**8) Timber screen attached to flat 12 balcony.**



**9) Timber screening attached to flats 23.**



**10) Timber screening attached to flats 24.**



Under no circumstances should netting or screening be attached to balconies as they can support fire spread across the external of the building. Other options should be explored.

## Section

# 7

## Means of Escape from Fire

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- 1) The means of escape are protected to prevent the spread of fire and smoke with the use of Notional fire doors within minimum 1 hour rated walls and floors and ventilation in the form of AOV's within the communal staircase.
- 2) Individual flat entrance doors are predominantly notional FD30 self-closing doors sets. These should be upgraded to certified fire doors sets when future upgrades take place at the premises.

Flat 1 – No issues.

**Flat 8 – Missing self-closing device.**

Flat 17 – No issues.

Flat 24 – No issues.

Access is gained to a sample of properties as part of the fire risk assessment to ensure the doors have not been tampered with by residents etc, all doors sampled are notional timber doors, this is deemed acceptable, however should be upgraded when future upgrade works, or a door programme is procured.

- 3) The only communal doors within each block are the final exit/entrance doors, communal doors are fitted with automatic closing devices that are checked on a regular basis by Caretaking Teams as part of their checks. Defective closing devices are replaced either by the Caretaking Team(s) or the in-house repairs team(s).
  - 4) The building has sufficient passive controls that provide effective compartmentation to support a Stay Put-Unless Policy. Therefore, residents are advised to remain in their Flats unless they are directly affected by heat, fire, smoke, or instructed by emergency services.
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- 5) Communal areas should be kept free of flammable items. The communal areas are checked on a regular basis by Caretaking / Cleaning teams 365 days per year and all items of rubbish are immediately removed. There is also an out of hour's service that allows combustible items of furniture / rubbish to be removed.
  - 6) Only communal areas for the block are the staircases and ground floor corridor areas. These are of adequate width and must be maintained clear.
  - 7) Ground floor of each block contains service cupboards, access only gained to the service cupboard in blocks 1-6 and 13-18.
  - 8) Windows within the communal areas are opened via AOV's at the head of the staircase (top floor).
  - 9) None of the walkways within the means of escape lead to a dead-end.
  - 10) The surface coatings along the communal escape route are brick finishing and therefore considered acceptable.
  - 11) Emergency lighting is not provided to communal landings and stairs standardised lighting is in place and communal areas benefit from borrowed and natural lighting. This is deemed acceptable in these low-rise building.
  - 12) Each building has access to a protected stair leading to a final exit.
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## Section

# 8

## Fire Detection and Alarm Systems

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- 1) Early warning is limited to hard wire or battery smoke alarms within each of the resident's Flats the equipment is subjected to a cyclical test.
- 2) Based on information collated from flats sampled, in house teams (JM) and previous risk assessments the smoke alarms within resident's flats are installed to a minimum of an LD3 Standard (as confirmed by residents).

Flat 1 – LD1, All except wet rooms.

Flat 8 – LD2, Hallway, Living room, & Kitchen

Flat 16 – LD2 Hallway, Living room, & Kitchen

Flat 17 – LD3 Hallway Only

Flat 24 – LD2, Hallway, Livingroom, & Kitchen

Flat 26 – LD2, Hallway, Living room, & Kitchen

*For information*

*LD1 all rooms except wet rooms*

*LD2 all-risk rooms e.g. Living Room, Kitchens and Hallway.*

*LD3 Hallway only*

- 3) There is no effective means for detecting an outbreak of fire to communal areas. The reason for this are:
  - I. Such systems may get vandalised.
  - II. False alarms would occur.
  - III. A Stay Put - Unless policy is in place.
- 4) Detection within the staircase is linked to the AOV system.





**Section**

**9**

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**Emergency Lighting**

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- 1) This premise does not have emergency lighting installed; however standardised lighting is present. This is deemed acceptable due to the height of the building and the simplicity of the layout.

## Section 10

# Compartmentation

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*The high degree of fire separation between flats and the common parts is achieved by making each flat a fire-resisting enclosure. This is known as compartmentation. A compartment is simply a part of a building bounded by walls and floors that will resist the passage of fire for a specified period of time. The fire resistance of this construction is such that, normally, a fire will burn itself out before spreading to other parts of the building*

- 1) The walls and floors are designed to provide as a minimum 1-hour vertical fire resistance and 1-hour horizontal fire resistance. Flat entrance doors are predominantly 30-minute notional fire doors, including those in 1-hour rated walls.
  - 2) The premises have sufficient compartmentation to limit the travel and effect of smoke and flame in event of a fire between dwellings. Whilst the existing fire stopping is fit for purpose, there is a cyclical programme to ensure fire stopping as not been compromised by third parties and where applicable enhance the fire stopping.
  - 3) All communal doors are fitted with automatic closing devices that are checked on a regular basis by Caretaking Teams as part of their checks. Defective closing devices are replaced either by the Caretaking Team(s) or the in-house repairs team(s).
  - 4) All communal fire doors are subject to an annual check by the Fire Safety Rapid Response Team.
  - 5) A variety of methods / materials have been used to achieve fire-stopping including Rockwool, fire rated sponge and intumescent pillows.
  - 6) The fire stopping / compartmentation is subject to an annual check by the Fire Safety Rapid Response Team.
  - 7) Any remedial works arising from the fire stopping / compartmentation check(s) will be actioned immediately by the Fire Safety Rapid Response Team.
  - 8) Individual Flat doors are predominantly notional FD30 fire doors.
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*It is accepted that, in older blocks, fire doors, particularly flat entrance doors, do not meet current test standards for FD30S doors. However, these doors may still be acceptable if the doors remain in good condition, and they met the relevant standards at the time of construction of the block.*

### Definitions of Fire Doors.

**Notional fire door** - A fire door that is thought to have been installed at the time of construction. This door may not meet current building regulation requirements however is still acceptable if performing as originally intended.

**Upgraded notional fire door** - A notional fire door that has been upgraded. For example, with intumescent strips and cold smoke seals.

**fire door** – A fire door that may meet the standards specified within the building regulations but has not been awarded the official certification of doors manufactured and evaluated by an accredited, third-party testing unit and approved formally with the relevant certificates and documentation.

**Certified fire door** – A fire door and frame that have been approved and certified by the manufacturer. A competent person must install the door assembly.

- 9) The blocks have Loft spaces with access via a loft hatch on the communal landing of the 2<sup>nd</sup> floor. Access was gained to 3 of the 5 loft spaces and found breaches in compartmentation which should be rectified. When carrying out future improvement works consideration should be given to replacing the cavity barrier with fire resisting studwork and extending the party wall between flats to the underside of the roof if required.**

**All roof voids should be checked.**



**Section**

**11**

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**Fire Fighting Equipment**

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- 1) The Premise has no firefighting provisions.

**Section**

**12**

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**Fire Signage**

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- 1) There are no Communal fire doors within the block therefore no fire door keep shut signs are present.
  - 2) Fire Action Notices are not displayed throughout the building.  
The signs are not necessarily due to the simplicity of the layout.
  - 3) Wayfinding Signage has not been installed within the blocks as they are not required due to the buildings being under 18m in height under the Fire Safety (England) Regulations 2022.
  - 4) The fire escape routes generally do not use directional fire signage in accordance due to simplicity of layout.
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## Section 13

# Employee & Resident Training/Provision of Information

- 1) All Caretaking / Cleaning Employees have undertaken fire safety training. This includes use of bespoke 'Fire Safety in High / Low Rise Flatted Accommodation' Video.
- 2) All employees are encouraged to complete 'In the line of fire' training on an annual basis.
- 3) Caretaking Teams are not currently trained in the effective use of fire extinguishers. There are no extinguishers present within these blocks.
- 4) Staff undertaking fire risk assessments have achieved a Level 4 in Fire risk Assessment.
- 5) Fire safety information has been provided as part of tenancy pack.
- 6) Information regarding use of fire doors is provided to residents.



- 7) Information regarding the Stay Put unless fire evacuation strategy is provided to residents.



8) Building safety notices are not installed at the blocks.

**Section**

**14**

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**Sources of Ignition**

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- 1) Smoking is prohibited within any communal parts of the building in line with Smoke Free England legislation.
  - 2) Hot working is not normally carried out. If essential maintenance requires the use of hot work processes, then corporate policies and procedures are to be followed.
  - 3) Portable electrical equipment used as part of the Caretaking / Cleaning regime is subject to annual PAT Testing. This information is held by the Estate Services Manager Bryan Low.
  - 4) The fixed electrical installation shall be tested every 5 years. It was noted that the last inspection was last completed in Feb 2025.
  - 5) Portable heaters are not allowed in any common parts of the premises.
  - 6) Gas appliances and pipework (where installed) are subject to annual testing and certification. This cyclical contract is managed by the in-house Gas Team. Gas is present at the blocks Gas pipes located externally on the rear elevation.
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**Section**  
**15**

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**Waste Control**

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- 1) There is a regular Cleaning Service to the premises.
- 2) Refuse containers emptied regularly.
- 3) Regular checks by Caretakers minimise risk of waste accumulation.
- 4) 'Out of Hours' service in place to remove bulk items.
- 5) Bin stores are located in the rear yard area.

**Section  
16**

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## **Control and Supervision of Contractors and Visitors**

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- 1) Responsive Repairs service delivered by Sandwell MBC necessitates the production of an order via the computerised repairs system. Details of any known risks are documented on the repair order.
  - 2) Hot works are not permitted unless authorisation is given via the approved officer. The hot works procedure is to be followed.
  - 3) Utility companies are not allowed to access any service cupboard or secure area. They must request and collect maintenance keys from the Investments office @ Roway Lane. This allows scrutiny of what is the scope of any works such as installation of tenant's broadband / phone line etc.
  - 4) Where contractors are appointed to undertake major refurbishment works, Sandwell MBC Urban Design team will put control measures in place. Such Measures include: -
    - a) Pre-Contract Meetings – where contractor is made aware of all working arrangements and safe systems of work to be adopted. Issues covered in this meeting will include:
      - Health and Safety.
      - Site security.
      - Safety of working and impact on children/school business.
      - Fire risk, if any.
      - Site Emergency Plan.
    - b) Monthly Site Meetings – in order to monitor, review and share any new information including any new risks.
    - c) Site monitored daily whilst work is in progress by Clerk of Works / Health and Safety Officers.
    - d) Final Contractor review on completion of works undertaken.
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## Section 17

### Arson Prevention

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- 1) Regular checks are undertaken by Caretakers / Cleaning Team(s) 365 days per year which helps reduce the risk of arson.
- 2) Restricted access to the premises by means of a door entry system.
- 3) There are no CCTV provisions for the block.
- 4) The perimeter of the premises is well illuminated. Communal areas are exposed to the elements and benefit from natural lighting.
- 5) No reported fire incidents have taken place since the previous FRA.

## Section 18

### Storage Arrangements

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- 1) Residents instructed not to bring L.P.G cylinders into block.
  - 2) The tenancy conditions, Section 7 – Condition 5.6 stipulates “If you live in a flat or Flats, you, people living with you and any visitors to your property must not keep or use paraffin oil, petrol, bottled gas appliances or any other explosive, FLAMMABLE or dangerous material in the property. This restriction also applies to any storage facility situated in or attached to the block, which has been provided for your use.”
  - 3) No Flammable liquids stored on site by Caretakers / cleaners.
  - 4) There are no flammable liquids or gas cylinders stored on site.
  - 5) Residents have no means of storage within communal areas.
-

**Section**  
**19**

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## **Additional Control Measures. Fire Risk Assessment - Action Plan**

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Significant Findings

### **Action Plan**

It is considered that the following recommendations should be implemented to reduce fire risk to, or maintain it at, the following level:

Trivial       Tolerable

Definition of priorities (where applicable):

**P1 Arrange and complete as urgent – Within 10 days**

**P2 Arrange and complete within 1-3 Months of assessment date**

**P3 Arrange and complete within 3-6 Months of assessment date**

**P4 Arrange and complete exceeding 6 months under programmed work**



# Fire Risk Assessment Action Plan



Name of Premises or Location:

Cypress Gardens 1-30

Date of Action Plan:

28/02/2025




Review Date:

<Insert date>

Question/ Ref No	Required Action	Supporting photograph	Priority	Timescale and Person Responsible	Date Completed
6/6	Remove Timber / plastic screen too all balconies block 1-6 Flats 3, 4, 5, & 6.		P3	Housing Manager 3-6 Months	



Fire Risk Assessment

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<p>6/7</p>	<p>Remove Fire loading from flat 10 Balcony.</p>		<p>P3</p>	<p>Housing Manager 3-6 months</p>	
<p>6/8</p>	<p>Remove Timber screen from flat 12 balcony.</p>		<p>P3</p>	<p>Housing Manager 3-6 months</p>	
<p>6/9</p>	<p>Remove Timber screen attached to flat 23 balcony.</p>		<p>P3</p>	<p>Housing Manager 3-6 months</p>	

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Fire Risk Assessment



<p><b>6/10</b></p>	<p><b>Remove Timber Screen attached to flat 24 balcony.</b></p>		<p><b>P3</b></p>	<p><b>Housing Manager 3-6 months</b></p>	
<p><b>7/2</b></p>	<p><b>Replace missing self-closing device to flat 8.</b></p>	<p><b>N/A</b></p>	<p><b>P2</b></p>	<p><b>Fire Rapid response 1-3 months</b></p>	
<p><b>10/9</b></p>	<p><b>Repair / replace damaged cavity barrier in loft spaces of block's 1-6 &amp; 19-24.</b></p>		<p><b>P3</b></p>	<p><b>Fire Rapid response 3-6 Months</b></p>	

Fire Risk Assessment

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<b>Observations</b>	
When undertaking future improvement program(s), it is advised that the observations listed below should be given consideration (noting that the safety of the residents is not jeopardised by these, and all steps to reduce any known risks have been taken).	
Upgrade Resident flat entrance doors to certified FD30s Fire Door sets.	When future improvement works take place at the blocks.
Upgrade communal Cupboards to certified FD30s fire door sets.	When future improvement works take place at the blocks.
It should be considered to replace the cavity barrier and extend the party wall to the underside of the roof with fire rated studwork (giving 1 – hours fire resistance, integrity and insulation from both sides) separating both flats and the communal areas.	When future improvement works take place at the blocks.
Further access should be gained to the loft spaces not accessed during this Type 1 FRA.	Programmed works

**Signed**

	Building Safety Manager	Date: 28/02/2025
	Quality Assurance Check	Date: 03/03/2025

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**Appendix 1**

## Significant Hazards on Site and Information to be Provided for the Fire Service

**Name of property:** Cypress Gardens

**Updated:**

**Premise Manager:**

**Tel. No.:** 0121 569 2975

Hazard	Information/Comments
Asbestos	An asbestos survey has been undertaken of the communal areas. Survey held by Sandwell Housing (Derek Still <a href="tel:01215695077">Tel:- 0121 569 5077</a> ). <i>Include survey</i>

Sample Locations		Property Address 1-6 Cypress Gardens, Yew Tree Estate, Walsall, WS5 4ED						
LOCATION	MATERIAL	QTY	SURFACE TREATMENT	SAMPLE REF	RESULT	HSE NOTIFY	Labelled?	ACTION TAKEN ON CONTRACT
IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK & SEEK ADVICE								
FRONT DOOR ENTRANCE CEILING	TEXTURED COATING	6m <sup>2</sup>	PAINTED	DMJ055/01	NO ASBESTOS DETECTED	NO	NO	-
WINDOW LEDGE-STAIRWELL	BOARD	-	PAINTED	DMJ055/02	NO ASBESTOS DETECTED	NO	NO	-
ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR & ARE CONFIRMED NOT TO BE ACM'S.								
LOCATION DESCRIPTION	MATERIAL	LOCATION DESCRIPTION	MATERIAL	LOCATION DESCRIPTION	MATERIAL			
MAIN ROOF SOFFIT	PLASTIC	FRONT DOOR FRAME SEALANTS (ALL FLATS)	NO VISIBLE SEALANTS					
MAIN ENTRANCE ROOF SOFFIT	PLASTIC							
STAIRWELL CEILING AND SOFFITS	CONCRETE							
2 <sup>ND</sup> FLOOR CEILING	PLASTERBOARD							
WINDOW LEDGE ON STAIRWELL	SUPALUX							

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## Fire Risk Assessment

Sample Locations		Property Address 25-30 Cypress Gardens, Yew Tree Estate, Walsall, WS5 4ED							
LOCATION	MATERIAL	QTY	SURFACE TREATMENT	SAMPLE REF	RESULT	HSE NOTIFY	Labelled ?	ACTION TAKEN ON CONTRACT	
<b>IF DURING THE COURSE OF WORK SUSPECTED ACM'S ARE IDENTIFIED THAT ARE NOT CONTAINED WITHIN THIS REPORT STOP WORK &amp; SEEK ADVICE</b>									
FRONT DOOR ENTRANCE CEILING	TEXTURED COATING	6m <sup>2</sup>	PAINTED	DMJ055/01	NO ASBESTOS DETECTED	NO	NO		
WINDOW LEDGE-STAIRWELL	BOARD	-	PAINTED	DMJ055/02	NO ASBESTOS DETECTED	NO	NO		
<b>ITEMS SHOWN BELOW HAVE BEEN ASSESSED ON SITE BY THE ASBESTOS SURVEYOR &amp; ARE CONFIRMED NOT TO BE ACM'S.</b>									
LOCATION DESCRIPTION	MATERIAL	LOCATION DESCRIPTION		MATERIAL	LOCATION DESCRIPTION		MATERIAL		
MAINROOF SOFIT	PLASTIC	FRONT DOOR FRAME SEALANT (ALL FLATS)		NO VISIBLE SEALANT					
MAIN ENTRANCE ROOF SOTIT	PLASTIC								
STAIRWELL CEILING AND SOFITS	CONCRETE								
2 <sup>ND</sup> FLOOR CEILING	PLASTERBOARD								
WINDOW LEDGE STAIRWELL	SUPALUX								